



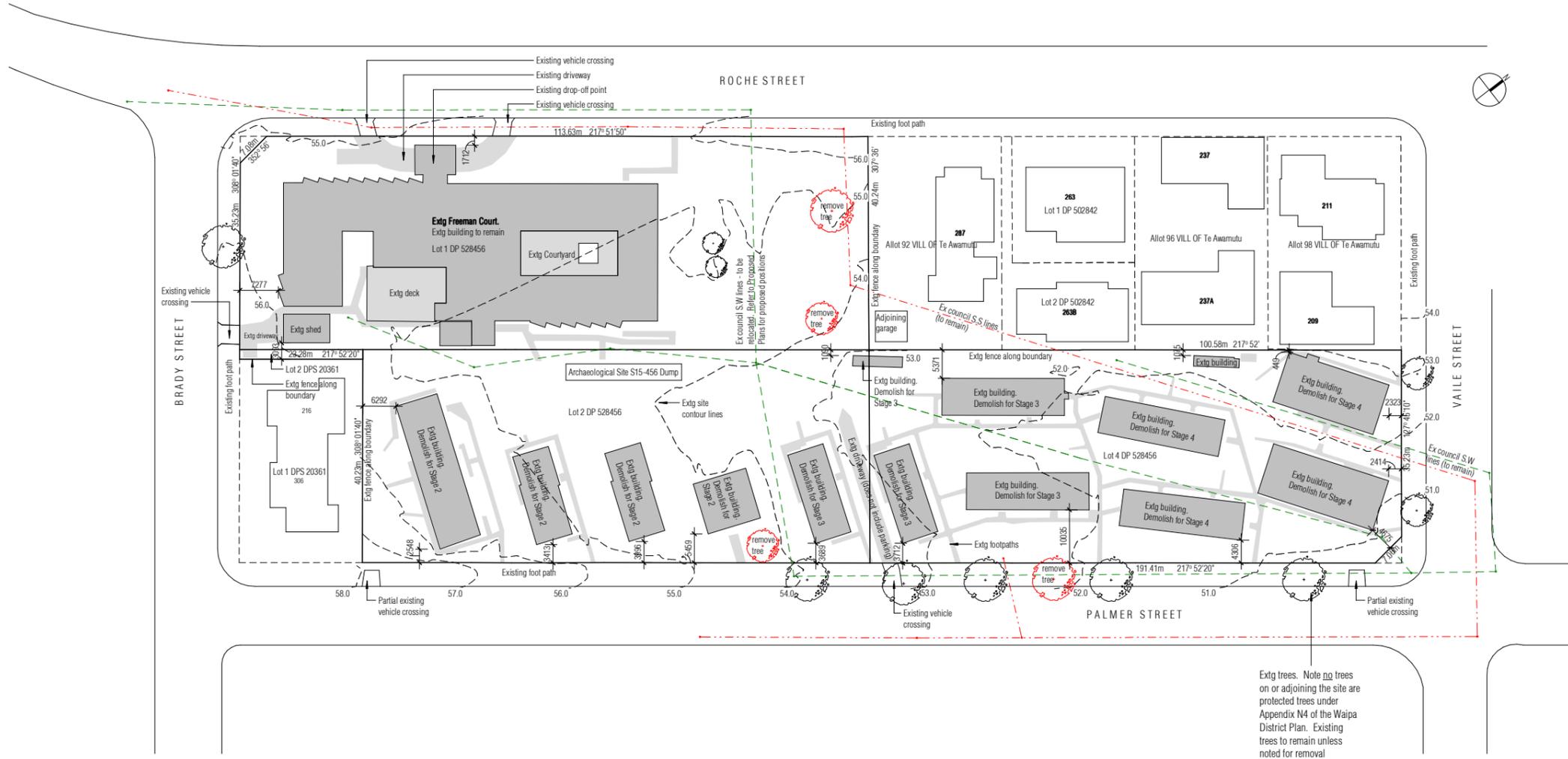
## HABITAT PALMER STREET, TE AWAMUTU

RC000	COVER
RC101	EXISTING SITE PLAN
RC102	PROPOSED SITE PLAN
RC103	PROPOSED SITE PLAN - EXPANDED (A)
RC104	PROPOSED SITE PLAN - EXPANDED (B)
RC105	CUT & FILL PLAN
RC106	PROPOSED LANDSCAPING PLAN
RC301	SITE ELEVATIONS & SECTIONS
RC302	SITE ELEVATIONS

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Refer to sheet: "Testing locations and fill depth", project 60343891 by Aecom, held on Waipa District Council record, for indicative (rubbish) fill depths

TOTAL SITE AREA (m <sup>2</sup> )	12651
PERMEABLE SURFACE AREA	7951 (62.8%)
NON PERMEABLE SURFACE AREA	4700 (37.2%)
- BUILDINGS (SITE COVERAGE)	3514 (27.7%)
- FREEMAN COURT DECKS / COURTYARDS	286
- DRIVEWAYS/PATHS	900



SURVEY & EXISTING SITE PLAN  
SCALE 1:500

Extg trees. Note no trees on or adjoining the site are protected trees under Appendix N4 of the Waipa District Plan. Existing trees to remain unless noted for removal

**EDWARDSWHITE**  
REGISTERED ARCHITECTS  
PROJECT REF  
HABITAT 495-01  
PALMER STREET, TE AWAMUTU

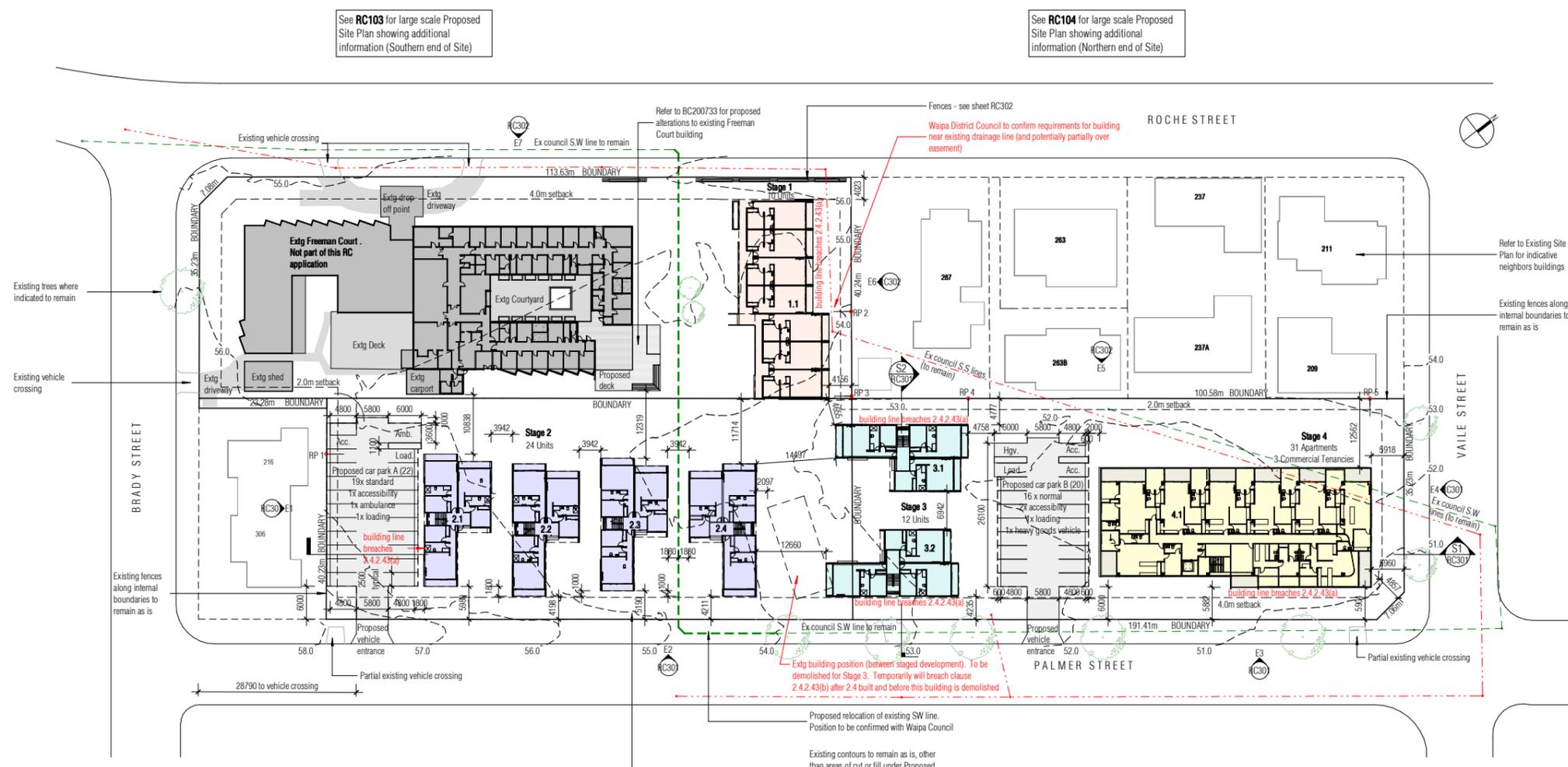
SHEET  
EXISTING SITE PLAN

RESOURCE CONSENT 9/07/2021 2:57:08 PM

RC101 REV  
The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095



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See RC103 for large scale Proposed Site Plan showing additional information (Southern end of Site)

See RC104 for large scale Proposed Site Plan showing additional information (Northern end of Site)

LEGAL DESCRIPTION	
Site Address: Palmer, Vaile, Brady and Roche Streets	
Lots 1, 2 and 4 DP 528456	
Area: 4766m <sup>2</sup> (Lot 1) + 3854m <sup>2</sup> (Lot 2) + 4031m <sup>2</sup> (Lot 4)	
SITE INFORMATION	
Local Body: Waipa District Council	
Zone: Residential Zone / Compact Housing Area / Archaeological Site S15- 456 (Dump)	
Wind Zone: Low	
Earthquake Zone: Zone 1	
Exposure Zone: Zone B	
Rainfall Intensity: 80 - 90	
Climate Zone: Zone 2	
SURVEY INFORMATION	
Site Surveyed By: RAD Surveying	
Note: It is the sole responsibility of the builder to ensure all yards setbacks in relation to boundaries are checked for compliance after profiles are set out and prior to construction.	

**Notes:**  
 - On-site vegetable gardens to be confirmed  
 - On-site play spaces to be confirmed  
 - Dimensions to face of claddings, for Resource Consent purposes only

Waipa District Council to confirm easements and requirements for building over of easements which are to remain in place

Recession Planes		
(District Plan Rule 2.4.2.10 and Appendix 06)		
Read in conjunction with RC301 & RC302		
RP1	2.7m + 28°	Complies
RP2	2.7m + 45°	Complies
RP3	2.7m + 45°	Complies
RP4	2.7m + 45°	Complies
RP5	2.7m + 45°	Complies
RP6	2.7m + 45°	Complies
RP7	2.7m + 45°	Does not comply
RP8	2.7m + 45°	Does not comply
RP9	2.7m + 45°	Complies
RP10	2.7m + 45°	Complies
RP11	2.7m + 45°	Complies

**Carparking**  
 Existing car parking spaces on-site = Nil spaces provided  
 Proposed car parking spaces on-site = 40 parks (including 2 minimum accessible)  
 District Plan car parking required = 1 per unit + 0.2 spaces per unit for visitors. **Does not comply, refer to Integrated Traffic Report**

Areas of Site Coverage	Composition
STAGE 1	STAGE 1 10 x 1 bedroom units
STAGE 2	STAGE 2 24 x 1 bedroom units
STAGE 3	STAGE 3 12 x 1 bedroom units
STAGE 4	STAGE 4 31 x 2 bedroom apartments 3 x commercial tenancies
EXISTING	

PROPOSED SITE PLAN  
SCALE 1 : 500

LOCATION MAP



District Plan Rules Overview		
Clause	Comments	Refer to sheet
2.4.2.1	4m ext boundary setback - complies	RC102/RC103/RC104
2.4.2.3	N/A - no garaging	
2.4.2.4	2m int boundary setback - complies	RC102/RC103/RC104
2.4.2.9 (e)	10m building height limit - stages 1-3 comply - Stage 4 does not comply	RC301/RC302
2.4.2.10	Recession planes noted - refer to drawings	RC301/RC302
2.4.2.19	Road facing facade glazing min 15% - Stage 2-4 comply - Stage 1 does not comply (12.2% provided)	RC301/RC302
2.4.2.20	New boundary fences - to be permeable & 1.8m max height	RC302
2.4.2.22	Landscape planting - to be designed to comply	
2.4.2.43(a)	Unbroken building line <b>Does not comply - breaches noted on drawings</b>	RC102/RC103/RC104
2.4.2.43(b)	3.5m min building separation - complies	RC102/RC103/RC104
2.4.2.43(c)	All proposed dwellings exceed 10m direct LOS from existing dwellings (adjoining sites) Stages 2 & 3 have less than 10m between windows of main living areas	
2.4.2.43(d)	Stages 2, 3 & 4 comply. Stage 1 does not comply with window sills to be no greater than 1m high requirement	
2.4.2.43(e)	Unit floor areas / outdoor living areas All stages refer to RC103 & RC104 for non-compliance	See RC103/RC104
2.4.2.43(h)	Outdoor livings shall: (i) Be located and/or screened so that at least 50% of the outdoor living area has complete visual privacy from the living rooms and outdoor living areas of other dwellings on the same site and shall be screened from adjoining sites. - Stages 1-3 screened from adjoining sites by existing 1.8m approx. high fences. - Stages 1-3 typically screened from one another by nib walls. - Stage 4 screening TBC (ii) Be orientated to the north, east or west of the dwelling, but not to the south of east or west from the southernmost part of the dwelling. - Stage 1 complies. Stage 4 TBC. Stage 2 & 3 all Units 1.2.4 & 5 comply - Stage 2 & 3 all Units 3 & 6 do not comply - Stage 4 units 201, 209, 301, 309, 401, 409 do not comply	
2.4.2.43(i)	Dwellings that are parallel to, or adjoin the road boundary shall have a front door that faces the road/ Stage 1 does not comply Stage 2 units have main building entrance doors and living area sliding doors facing the street Stage 3 does not comply Stage 4 N/A	

TOTAL SITE AREA (m <sup>2</sup> )	12651
PERMEABLE SURFACE AREA	4639 or 36.8% more or less
NON PERMEABLE SURFACE AREA	8012 or 63.2% more or less
<b>- BUILDINGS (SITE COVERAGE)</b>	
Freeman Court/Existing (incl. shed/carpport)	1595
Stage 1	502 (incl. covered decks and walkways)
Stage 2	220 x 4 = 880
Stage 3	220 x 2 = 440
Stage 4	1034
<b>- DECKS/PATIOS</b>	
Freeman Court-Existing	240
Stage 1 Paving	27
Stage 2 Paving	597
Stage 3 Paving	321
Stage 4 Paving	92
<b>- SHEDS</b>	
Covered bike/scooter parking	20
<b>- DRIVEWAYS/PATHS</b>	
Extg Freeman Driveways	211
Proposed Carparks	990
Public Paths	1053

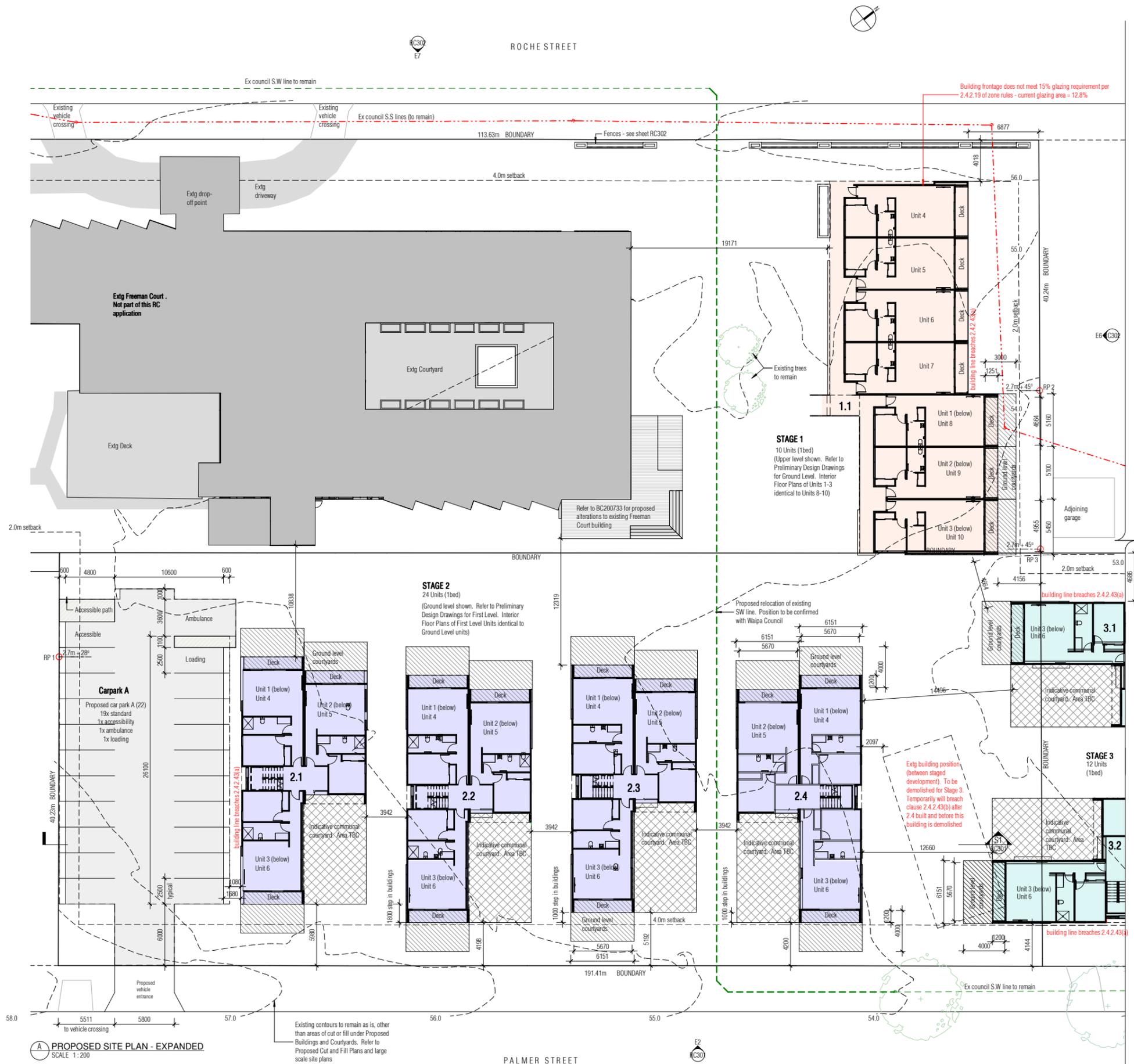
**EDWARDSWHITE**  
 REGISTERED ARCHITECTS  
 PROJECT HABITAT PALMER STREET, TE AWAMUTU REF 495-01

SHEET  
PROPOSED SITE PLAN

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INFORMATION ONLY - NOT FOR CONSTRUCTION



CONTINUED ON SHEET RC104

**Proposed Stage 4 ground level commercial tenancies:**

Commercial Tenancy 1	86m <sup>2</sup>
Commercial Tenancy 2	111m <sup>2</sup>
Commercial Tenancy 3	179m <sup>2</sup>

Note: proposed rentable areas are indicative only

**District Plan Rules (Additional Information, to read in addition with Rules Overview on Sheet RC102)**

Clause 2.4.2.43 (e). Note all Stage 1 to 3 units are 1 bedroom, all stage 4 units are 2 bedroom.

Unit:	Dwelling Size (GFA): (50m <sup>2</sup> min required)	GL outdoor living area: (20m <sup>2</sup> min required)	GL outdoor living dim: (4m min required)	Min FF outdoor living area: (10m <sup>2</sup> min required)	FF outdoor living dim: (2m min required)
1.1 Unit 1	54.7m <sup>2</sup>	14.8m <sup>2</sup>	3m	-	-
1.1 Unit 2	54.5m <sup>2</sup>	14.8m <sup>2</sup>	3m	-	-
1.1 Unit 3	57.7m <sup>2</sup>	15.7m <sup>2</sup>	3m	-	-
1.1 Unit 4	56.2m <sup>2</sup>	-	-	5.9m <sup>2</sup>	1.25m
1.1 Unit 5	54.5m <sup>2</sup>	-	-	5.9m <sup>2</sup>	1.25m
1.1 Unit 6	54.5m <sup>2</sup>	-	-	5.9m <sup>2</sup>	1.25m
1.1 Unit 7	54.6m <sup>2</sup>	-	-	5.9m <sup>2</sup>	1.25m
1.1 Unit 8	54.7m <sup>2</sup>	-	-	5.8m <sup>2</sup>	1.25m
1.1 Unit 9	54.5m <sup>2</sup>	-	-	5.9m <sup>2</sup>	1.25m
1.1 Unit 10	57.7m <sup>2</sup>	-	-	6.2m <sup>2</sup>	1.25m
(all comply)	(all do not comply)	(all do not comply)	(all do not comply)	(all do not comply)	(all do not comply)
2.1 Unit 1	58.2m <sup>2</sup>	24.0m <sup>2</sup>	4m	-	-
2.1 Unit 2	60.4m <sup>2</sup>	24.0m <sup>2</sup>	4m	-	-
2.1 Unit 3	59.7m <sup>2</sup>	24.0m <sup>2</sup>	4m	-	-
2.1 Unit 4	58.2m <sup>2</sup>	-	-	6.8m <sup>2</sup>	1.2m
2.1 Unit 5	60.4m <sup>2</sup>	-	-	6.8m <sup>2</sup>	1.2m
2.1 Unit 6	59.7m <sup>2</sup>	-	-	6.8m <sup>2</sup>	1.2m
(all comply)	(all comply)	(all comply)	(all do not comply)	(all do not comply)	(all do not comply)

**Units 2.2, 2.3, 2.4, 3.1 & 3.2 Unit Areas and Outdoor Living Space areas / dimensions identical to Unit 2.1**

Unit:	(70m <sup>2</sup> min required)	(30m <sup>2</sup> min required)	(4m min required)	(12m <sup>2</sup> min required)	(2m min required)
4.1 GF Unit 1	80m <sup>2</sup>	45.0m <sup>2</sup>	5.5m <sup>2</sup>	-	-
4.1 GF Unit 2	79m <sup>2</sup>	25.8m <sup>2</sup>	4.7m <sup>2</sup>	-	-
4.1 GF Unit 3	79m <sup>2</sup>	25.8m <sup>2</sup>	4.7m <sup>2</sup>	-	-
4.1 GF Unit 4	79m <sup>2</sup>	25.8m <sup>2</sup>	4.7m <sup>2</sup>	-	-
4.1 Lvl 1 Unit 1	87m <sup>2</sup>	-	-	13.2m <sup>2</sup>	2.9m <sup>2</sup>
4.1 Lvl 1 Unit 2	80m <sup>2</sup>	-	-	20.4m <sup>2</sup>	2.5m <sup>2</sup>
4.1 Lvl 1 Unit 3	79m <sup>2</sup>	-	-	11.7m <sup>2</sup>	2.5m <sup>2</sup>
4.1 Lvl 1 Unit 4	79m <sup>2</sup>	-	-	11.7m <sup>2</sup>	2.5m <sup>2</sup>
4.1 Lvl 1 Unit 5	79m <sup>2</sup>	-	-	11.7m <sup>2</sup>	2.5m <sup>2</sup>
4.1 Lvl 1 Unit 6	79m <sup>2</sup>	-	-	11.7m <sup>2</sup>	2.5m <sup>2</sup>
4.1 Lvl 1 Unit 7	89m <sup>2</sup>	-	-	11.9m <sup>2</sup>	2.5m <sup>2</sup>
4.1 Lvl 1 Unit 8	76m <sup>2</sup>	-	-	14.8m <sup>2</sup>	2.3m <sup>2</sup>
4.1 Lvl 1 Unit 9	84m <sup>2</sup>	-	-	9.7m <sup>2</sup>	2.0m <sup>2</sup>
(all comply)	(red does not comply)	(all comply)	(red does not comply)	(all comply)	(all comply)

**4.1 Lvl 2&3 Unit Areas and Outdoor Living Space areas / dimensions identical to Lvl 1**

**Areas of Site Coverage**

- STAGE 1
- STAGE 2
- STAGE 3
- STAGE 4
- EXISTING

**Outdoor Living Areas**

- Private Ground Level outdoor living areas
- Communal Ground Level outdoor living areas

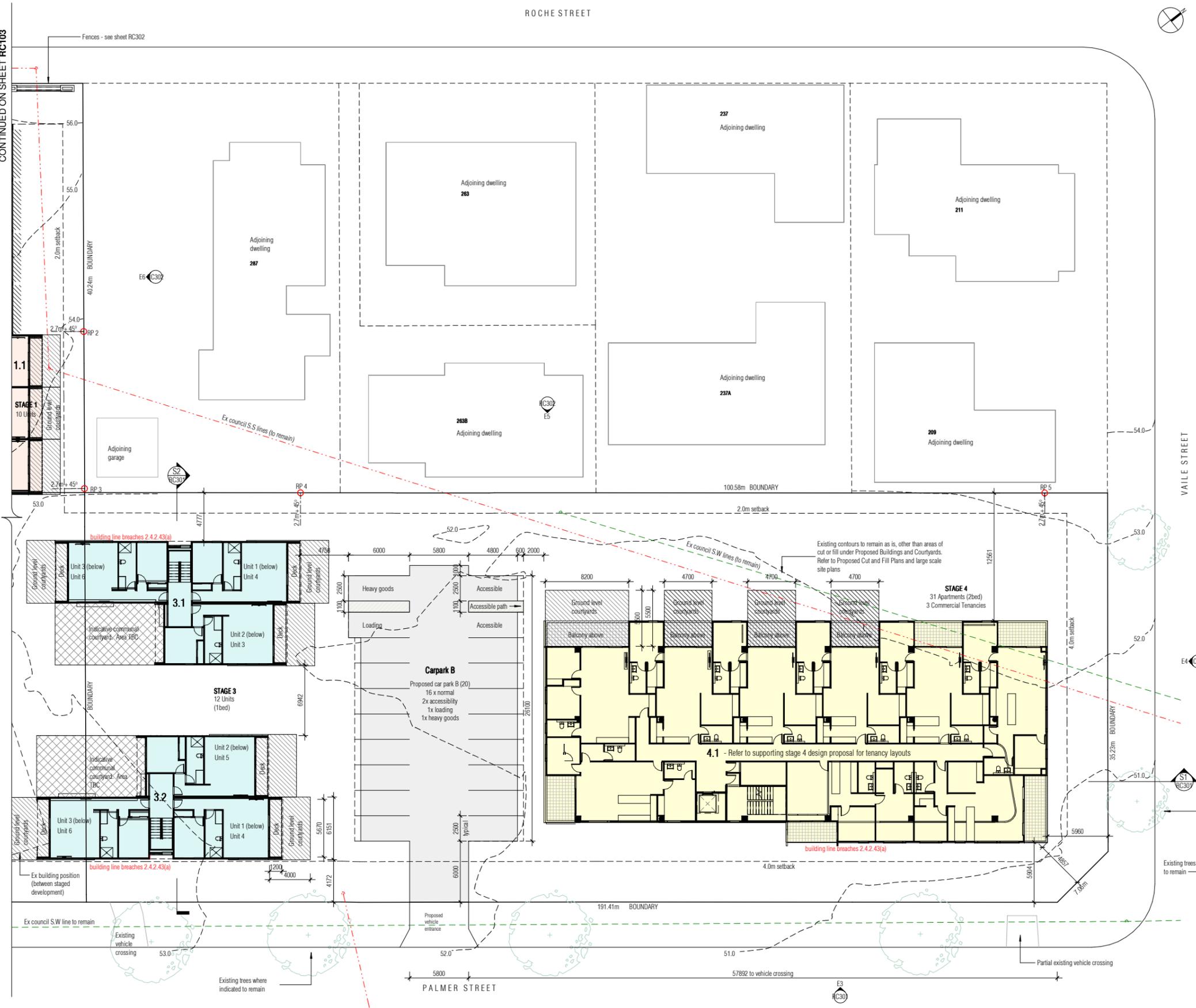
**A PROPOSED SITE PLAN - EXPANDED**  
SCALE 1:200

**EDWARDSWHITE**  
REGISTERED ARCHITECTS  
PROJECT HABITAT PALMER STREET, TE AWAMUTU REF 495-01

SHEET PROPOSED SITE PLAN - EXPANDED (A)

RESOURCE CONSENT 9/07/2021 2:57:12 PM  
**RC103** REV

INFORMATION ONLY - NOT FOR CONSTRUCTION



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**Areas of Site Coverage**

- STAGE 1
- STAGE 2
- STAGE 3
- STAGE 4
- EXISTING

**Outdoor Living Areas**

- Private Ground Level outdoor living areas
- Communal Ground Level outdoor living areas

**Proposed Stage 4 ground level commercial tenancies:**

Commercial Tenancy 1	86m <sup>2</sup>
Commercial Tenancy 2	111m <sup>2</sup>
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Note: proposed rentable areas are indicative only

B PROPOSED SITE PLAN - EXPANDED  
SCALE 1:200

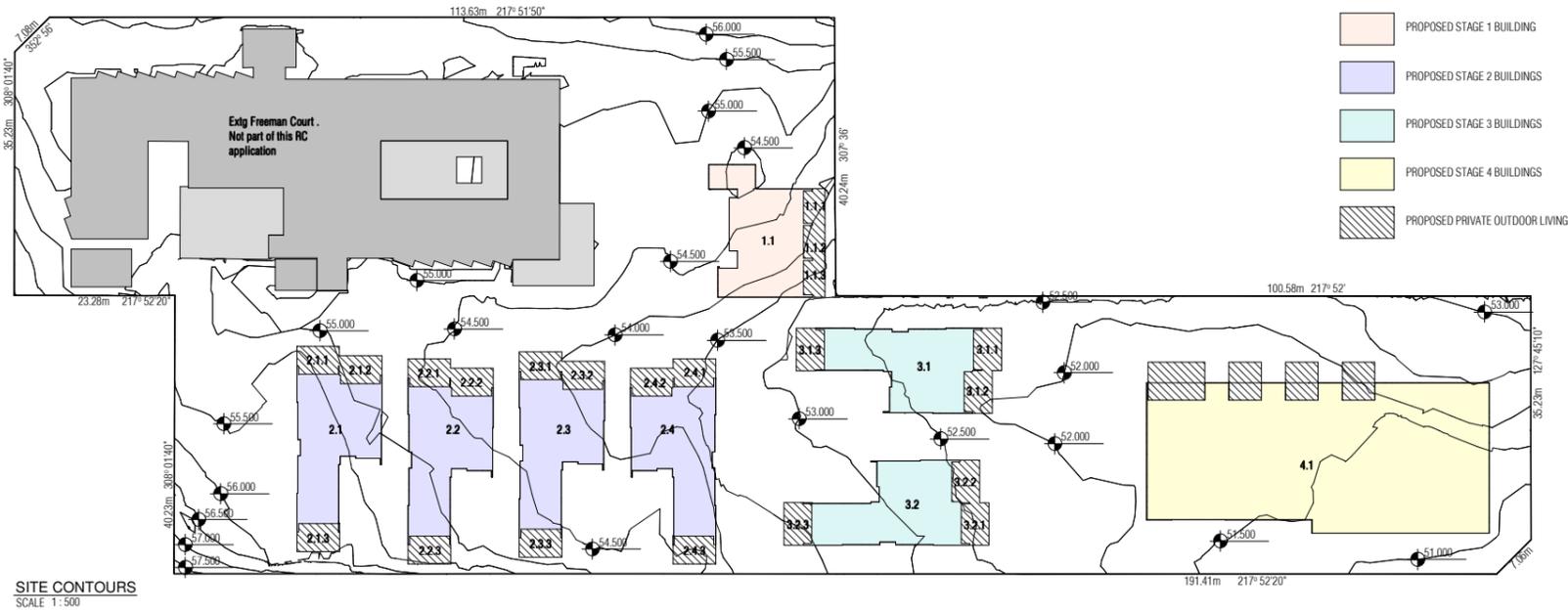
**EDWARDSWHITE**  
REGISTERED ARCHITECTS  
PROJECT REF  
HABITAT 495-01  
PALMER STREET, TE AWAMUTU

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SHEET  
PROPOSED SITE PLAN - EXPANDED (B)

RESOURCE CONSENT 9/07/2021 2:57:13 PM

**RC104** REV  
The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095



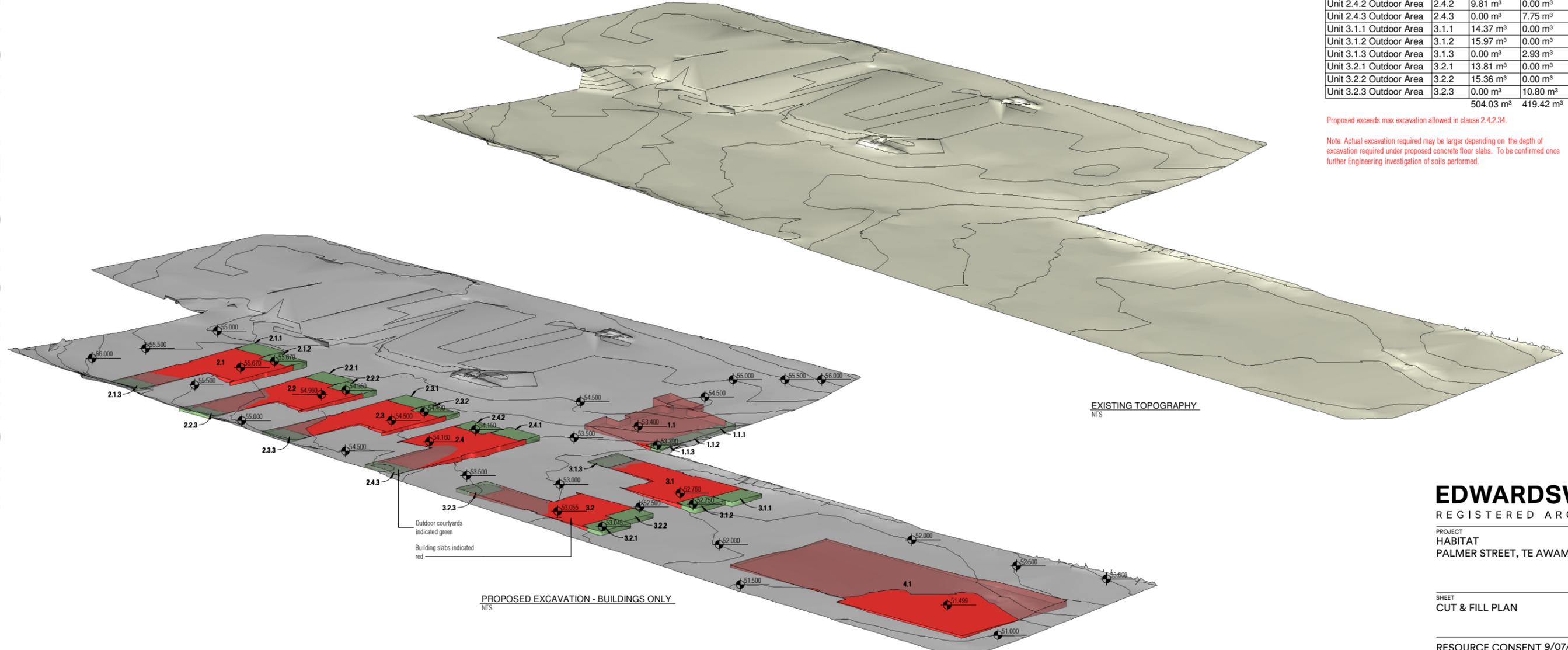


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- All work to be in accordance with the approved conditions of the Land Use Resource Consent.

TOPOGRAPHY SCHEDULE				
Location	Mark	Fill	Cut	Net cut/fill
Stage 1 Building 1	1.1	0.37 m <sup>3</sup>	173.44 m <sup>3</sup>	-173.07 m <sup>3</sup>
Stage 2 Building 1	2.1	45.48 m <sup>3</sup>	2.03 m <sup>3</sup>	43.45 m <sup>3</sup>
Stage 2 Building 2	2.2	44.83 m <sup>3</sup>	5.39 m <sup>3</sup>	39.44 m <sup>3</sup>
Stage 2 Building 3	2.3	47.38 m <sup>3</sup>	0.78 m <sup>3</sup>	46.60 m <sup>3</sup>
Stage 2 Building 4	2.4	51.17 m <sup>3</sup>	11.54 m <sup>3</sup>	39.63 m <sup>3</sup>
Stage 3 Building 1	3.1	67.30 m <sup>3</sup>	0.20 m <sup>3</sup>	67.10 m <sup>3</sup>
Stage 3 Building 2	3.2	30.67 m <sup>3</sup>	13.69 m <sup>3</sup>	16.98 m <sup>3</sup>
Stage 4 Building 1	4.1	53.28 m <sup>3</sup>	155.48 m <sup>3</sup>	-102.20 m <sup>3</sup>
Unit 1.1.1 Outdoor Area	1.1.1	0.00 m <sup>3</sup>	10.94 m <sup>3</sup>	-10.94 m <sup>3</sup>
Unit 1.1.2 Outdoor Area	1.1.2	0.00 m <sup>3</sup>	6.85 m <sup>3</sup>	-6.85 m <sup>3</sup>
Unit 1.1.3 Outdoor Area	1.1.3	0.97 m <sup>3</sup>	1.70 m <sup>3</sup>	-0.73 m <sup>3</sup>
Unit 2.1.1 Outdoor Area	2.1.1	8.16 m <sup>3</sup>	0.00 m <sup>3</sup>	8.16 m <sup>3</sup>
Unit 2.1.2 Outdoor Area	2.1.2	18.17 m <sup>3</sup>	0.00 m <sup>3</sup>	18.17 m <sup>3</sup>
Unit 2.1.3 Outdoor Area	2.1.3	0.00 m <sup>3</sup>	4.82 m <sup>3</sup>	-4.82 m <sup>3</sup>
Unit 2.2.1 Outdoor Area	2.2.1	12.04 m <sup>3</sup>	0.00 m <sup>3</sup>	12.04 m <sup>3</sup>
Unit 2.2.2 Outdoor Area	2.2.2	16.82 m <sup>3</sup>	0.00 m <sup>3</sup>	16.82 m <sup>3</sup>
Unit 2.2.3 Outdoor Area	2.2.3	0.00 m <sup>3</sup>	7.20 m <sup>3</sup>	-7.20 m <sup>3</sup>
Unit 2.3.1 Outdoor Area	2.3.1	9.44 m <sup>3</sup>	0.00 m <sup>3</sup>	9.44 m <sup>3</sup>
Unit 2.3.2 Outdoor Area	2.3.2	14.04 m <sup>3</sup>	0.00 m <sup>3</sup>	14.04 m <sup>3</sup>
Unit 2.3.3 Outdoor Area	2.3.3	0.00 m <sup>3</sup>	3.87 m <sup>3</sup>	-3.87 m <sup>3</sup>
Unit 2.4.1 Outdoor Area	2.4.1	14.60 m <sup>3</sup>	0.00 m <sup>3</sup>	14.60 m <sup>3</sup>
Unit 2.4.2 Outdoor Area	2.4.2	9.81 m <sup>3</sup>	0.00 m <sup>3</sup>	9.81 m <sup>3</sup>
Unit 2.4.3 Outdoor Area	2.4.3	0.00 m <sup>3</sup>	7.75 m <sup>3</sup>	-7.75 m <sup>3</sup>
Unit 3.1.1 Outdoor Area	3.1.1	14.37 m <sup>3</sup>	0.00 m <sup>3</sup>	14.37 m <sup>3</sup>
Unit 3.1.2 Outdoor Area	3.1.2	15.97 m <sup>3</sup>	0.00 m <sup>3</sup>	15.97 m <sup>3</sup>
Unit 3.1.3 Outdoor Area	3.1.3	0.00 m <sup>3</sup>	2.93 m <sup>3</sup>	-2.93 m <sup>3</sup>
Unit 3.2.1 Outdoor Area	3.2.1	13.81 m <sup>3</sup>	0.00 m <sup>3</sup>	13.81 m <sup>3</sup>
Unit 3.2.2 Outdoor Area	3.2.2	15.36 m <sup>3</sup>	0.00 m <sup>3</sup>	15.36 m <sup>3</sup>
Unit 3.2.3 Outdoor Area	3.2.3	0.00 m <sup>3</sup>	10.80 m <sup>3</sup>	-10.80 m <sup>3</sup>
		504.03 m <sup>3</sup>	419.42 m <sup>3</sup>	84.61 m <sup>3</sup>

Proposed exceeds max excavation allowed in clause 2.4.2.34.

Note: Actual excavation required may be larger depending on the depth of excavation required under proposed concrete floor slabs. To be confirmed once further Engineering investigation of soils performed.



**EDWARDSWHITE**  
REGISTERED ARCHITECTS  
PROJECT REF: HABITAT 495-01  
PALMER STREET, TE AWAMUTU

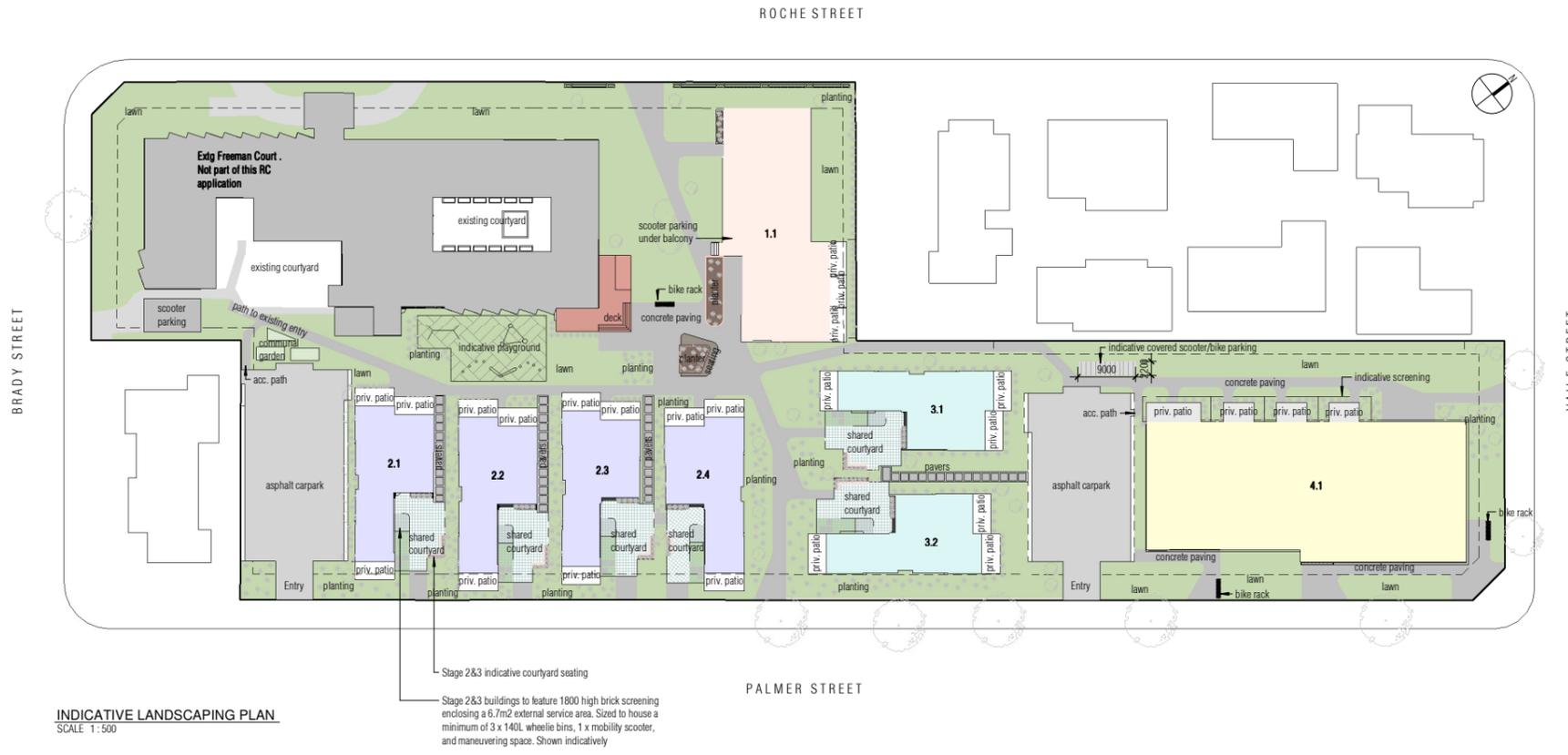
SHEET: CUT & FILL PLAN

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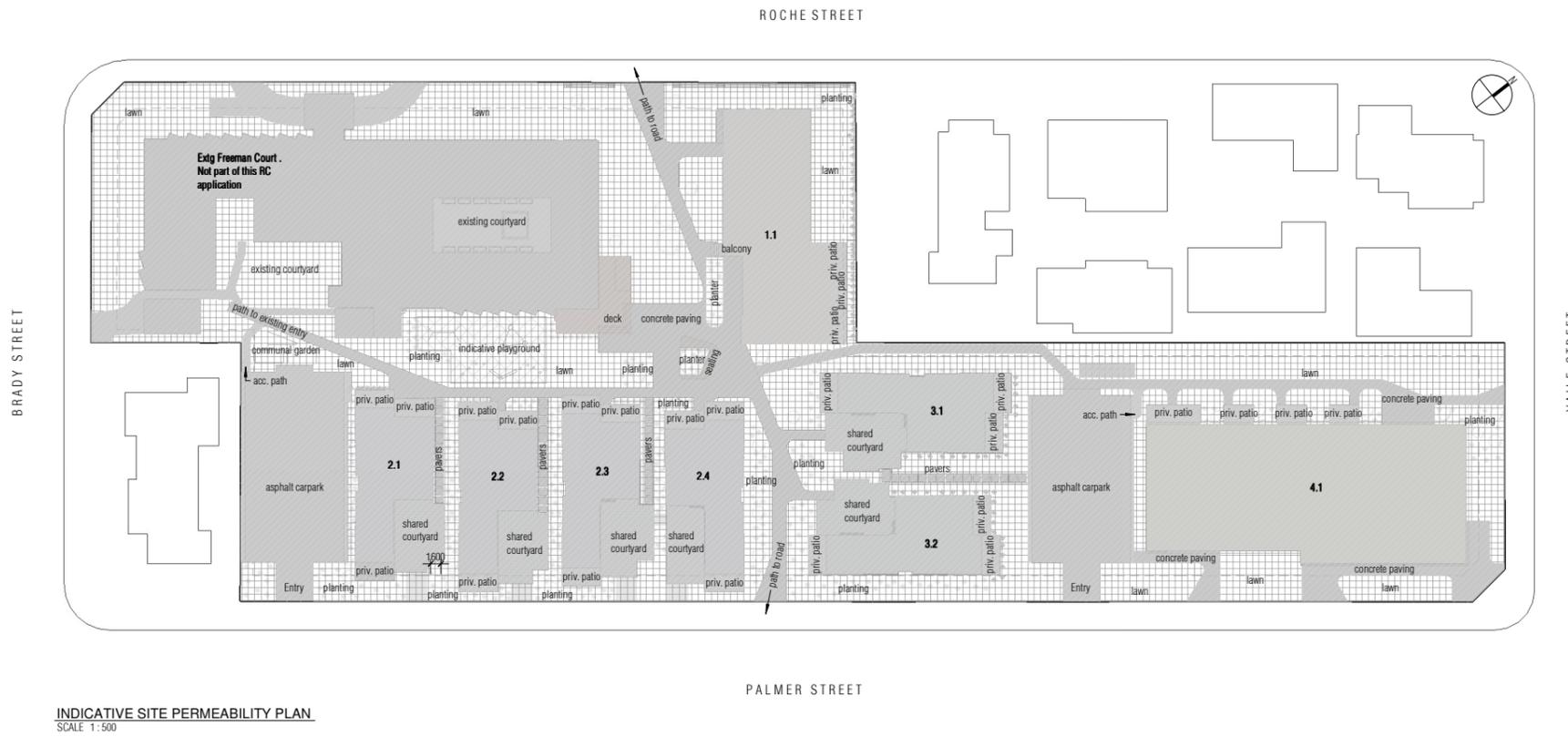
**RC105** REV  
The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095



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7. All work to be in accordance with the approved conditions of the Land Use Resource Consent.



**NOTE:** Landscaping design & layout indicative for RC stage. Finishes, materials, & plant selections to be developed further during building consent stages.



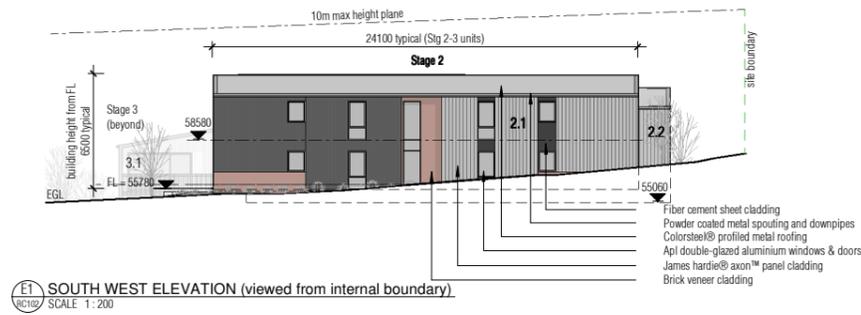
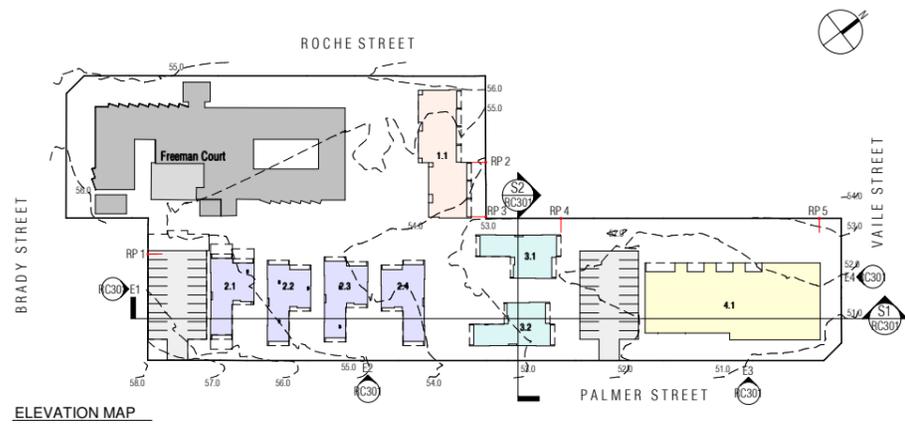
**EDWARDSWHITE**  
REGISTERED ARCHITECTS

PROJECT REF  
HABITAT 495-01  
PALMER STREET, TE AWAMUTU

original sheet size A1  
SHEET  
PROPOSED LANDSCAPING PLAN

RESOURCE CONSENT 9/07/2021 2:57:16 PM  
RC106  
REV  
The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095

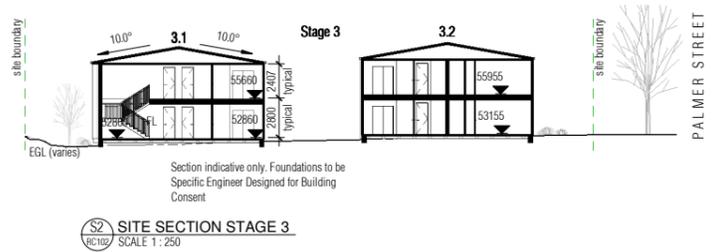
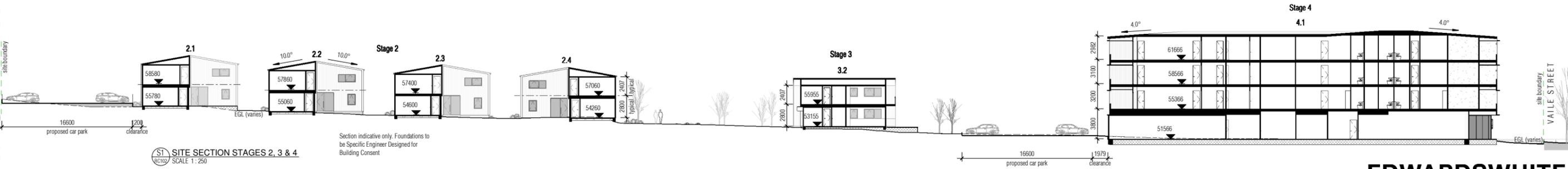
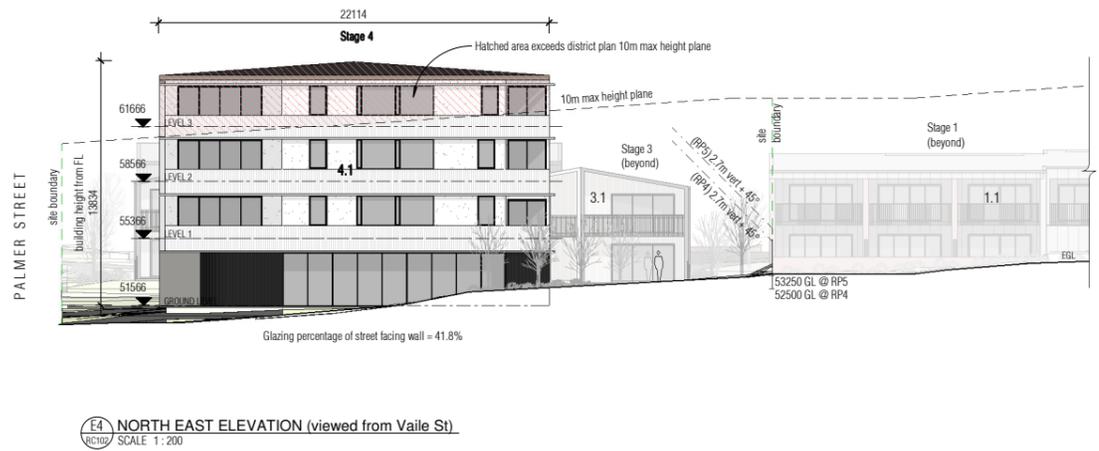
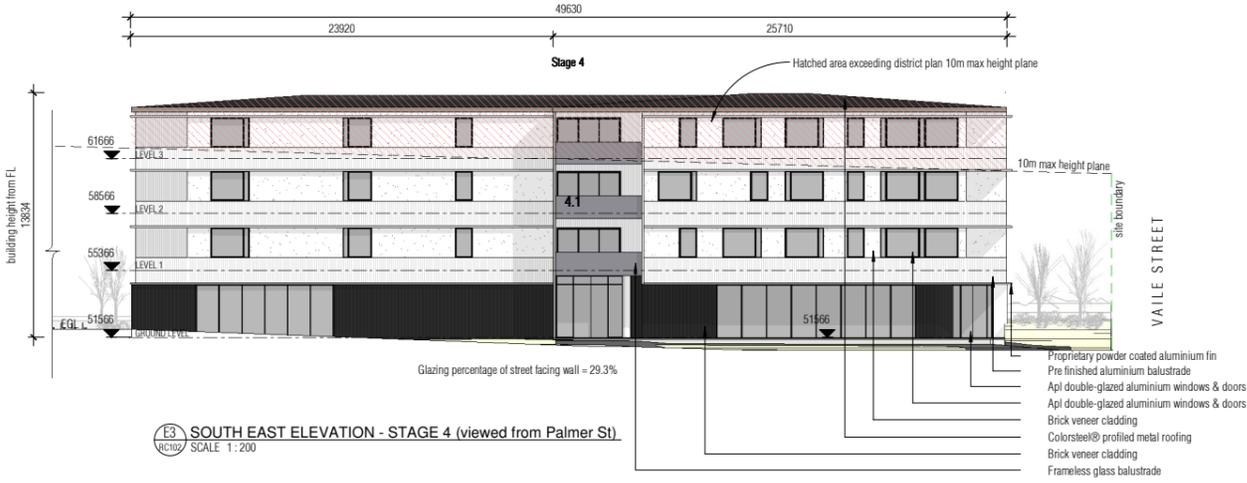
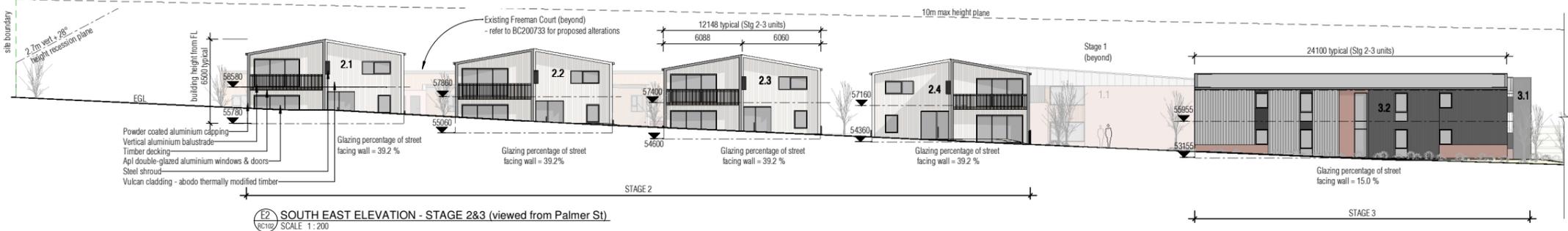




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- The contractor must notify the architect of any discrepancies in the documents and / or site conditions for clarification.
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  - Keynote Number - architectural specification section, clause
  - Keynote Titles - architectural specification clause heading
- All drawings to be read in conjunction with the following consultants documentation:
  - Surveyor - Align Surveyors | Structural, Civil, Geotechnical - BCD Group | Mechanical - All Seasons Air | Electrical - Feist Electrical | Hydraulics - Fluid | Fire Engineering - On Fire | Fire Protection - Select Alarms | Acoustics - BBA
- All work to be in accordance with the approved conditions of the Land Use Resource Consent.

REFER TO PRELIMINARY DESIGN DRAWINGS FOR LARGE SCALE BUILDING ELEVATIONS & SECTIONS

NOTES:  
-Existing Ground Level (EGL) shown on Elevations taken from site boundary line



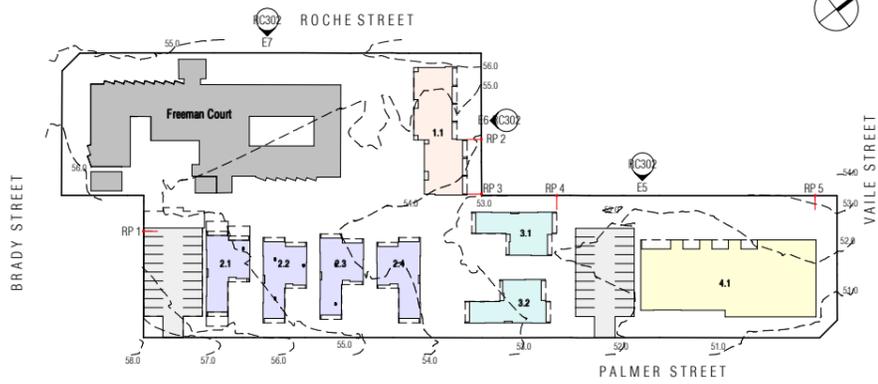
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REGISTERED ARCHITECTS  
PROJECT REF: HABITAT PALMER STREET, TE AWAMUTU 495-01

SHEET: SITE ELEVATIONS & SECTIONS

RESOURCE CONSENT 9/07/2021 2:57:26 PM

**RC301** REV  
The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095



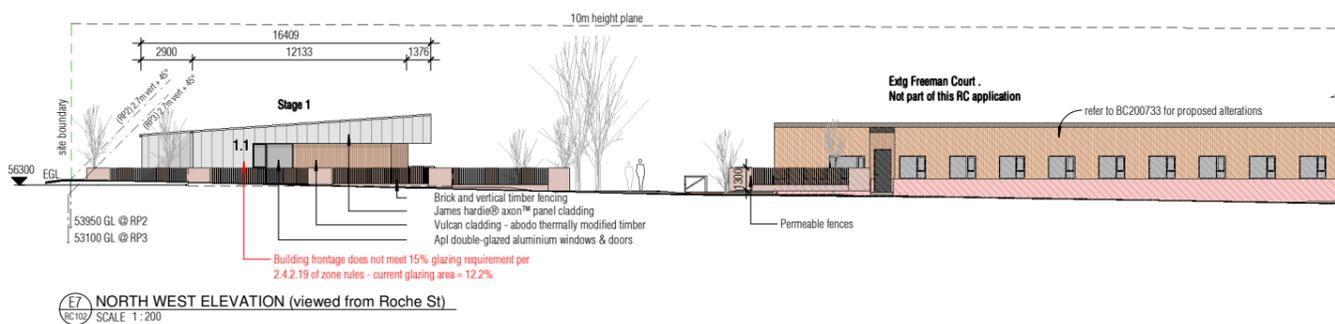
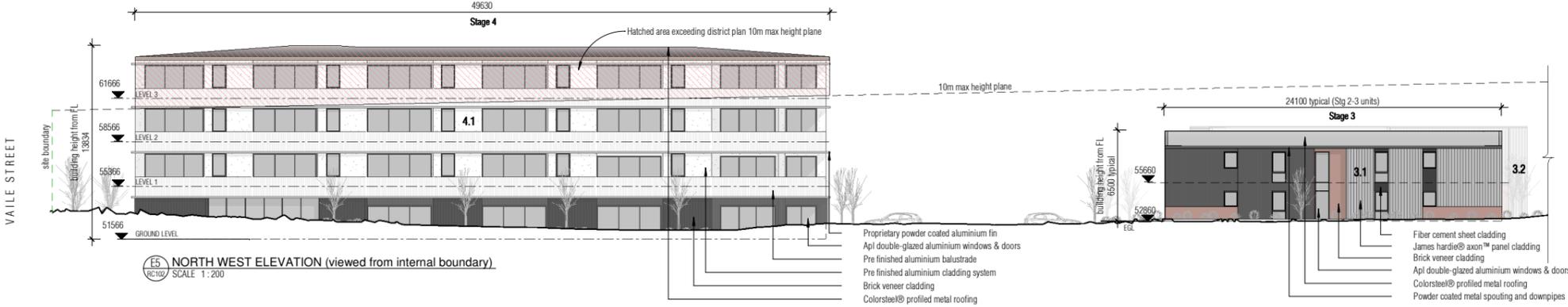


ELEVATION MAP

- All construction to be in accordance with relevant NZ Standards, NZBC and local authority requirements.
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REFER TO PRELIMINARY DESIGN DRAWINGS FOR LARGE SCALE BUILDING ELEVATIONS & SECTIONS

NOTES:  
 - Existing Ground Level (EGL) shown on Elevations taken from site boundary line



**EDWARDSWHITE**  
 REGISTERED ARCHITECTS  
 PROJECT HABITAT PALMER STREET, TE AWAMUTU  
 REF 495-01

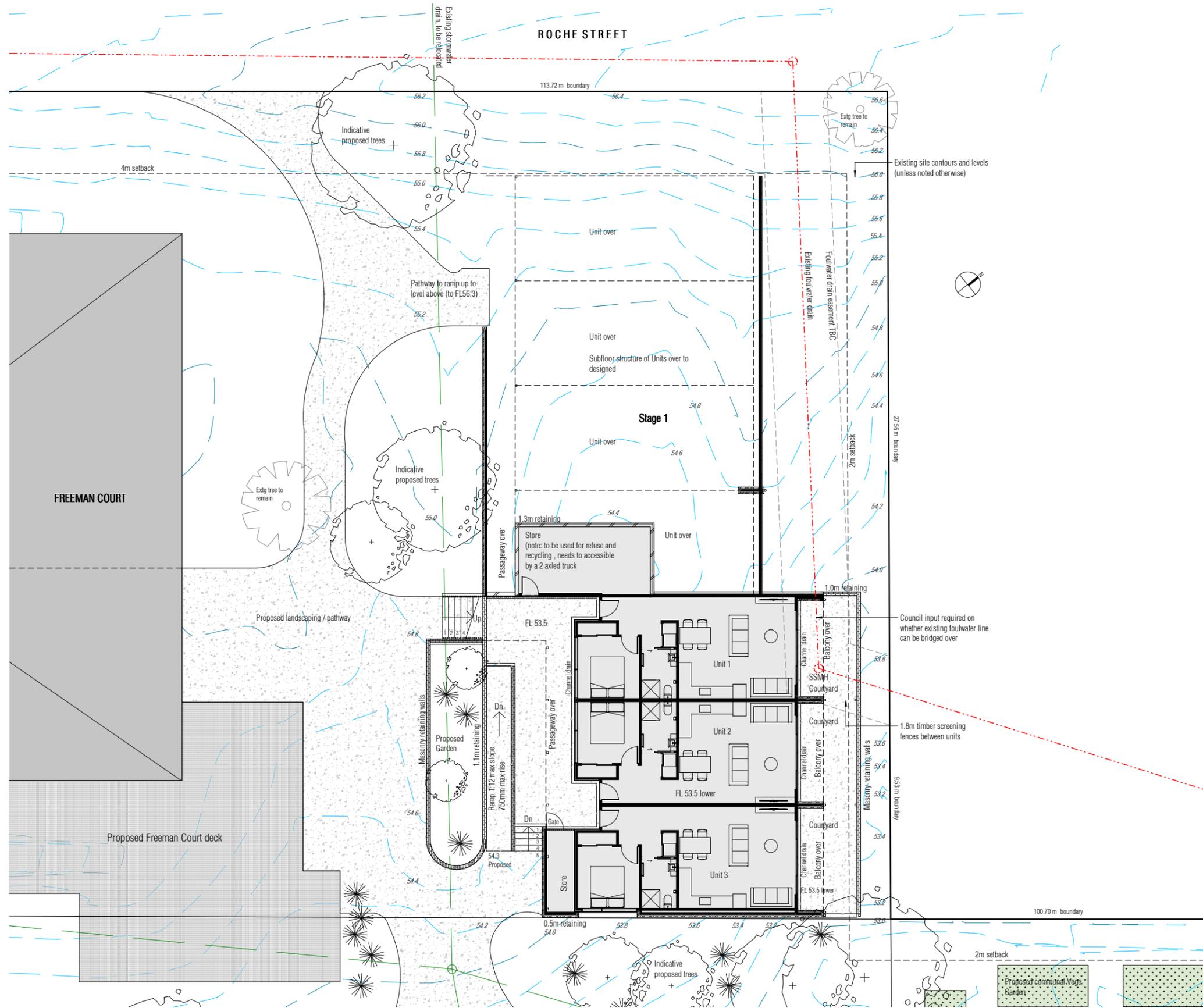
SHEET SITE ELEVATIONS





## HABITAT PALMER STREET, TE AWAMUTU

	REV	
PD000	-	COVER
PD101	-	SITE PLAN STAGE 1
PD201	-	FLOOR PLANS STAGE 1
PD204	-	DIMENSION PLANS STAGE 1
PD205	-	REFLECTED CEILING PLANS STAGE 1
PD206	-	ROOF PLAN
PD301	-	ELEVATIONS
PD401	-	SECTIONS
PD402	-	SECTIONS
PD501	-	TYPICAL UNIT PLAN STAGE 1
PD701	-	WINDOW & DOOR SCHEDULES



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- All work to be in accordance with the approved conditions of the Land Use Resource Consent.

LOCATION MAP



LEGAL DESCRIPTION

Site Address: Palmer, Vaile, Brady and Roche Streets  
 Lots 1, 2 and 4 DP 528456  
 Area: 4766m<sup>2</sup> (Lot 1) + 3854m<sup>2</sup> (Lot 2) + 4031m<sup>2</sup> (Lot 4)

SITE INFORMATION

Local Body: Waipa District Council  
 Zone: Residential Zone / Compact Housing Area /  
 Archaeological Site S15 - 456 (Dump)  
 Wind Zone: Low  
 Earthquake Zone: Zone 1  
 Exposure Zone: Zone B  
 Rainfall Intensity: 80 - 90  
 Climate Zone: Zone 2

SURVEY INFORMATION

Site Surveyed By: RAD Surveying

Note: It is the sole responsibility of the builder to ensure all yards setbacks in relation to boundaries are checked for compliance after profiles are set out and prior to construction.

**EDWARDSWHITE**  
 REGISTERED ARCHITECTS

PROJECT REF: 495-01  
 HABITAT  
 PALMER STREET,  
 TE AWAMUTU

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SHEET  
 SITE PLAN STAGE 1

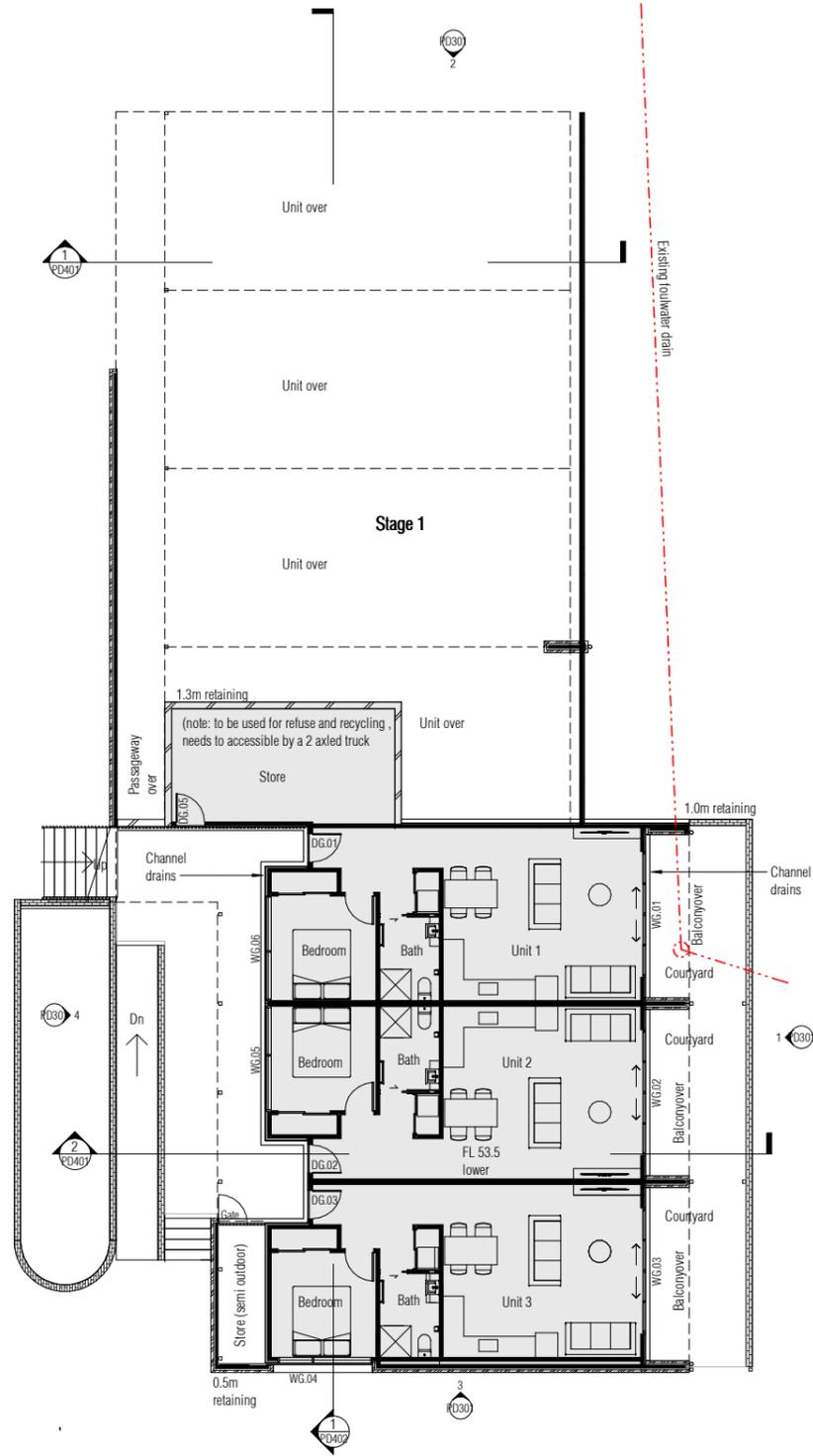
PRELIMINARY DESIGN 17/09/2020

**PD101** REV

The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095



SITE PLAN  
 SCALE 1:100



GROUND FLOOR PLAN  
SCALE 1:100



FIRST FLOOR PLAN  
SCALE 1:100

**FLOOR AREAS**

Each unit 54.5m<sup>2</sup> typical

Ground level = 3 x 54.5 = 54.5m<sup>2</sup> (excluding store - size TBC)

First level = 7 x 54.5 = 54.5m<sup>2</sup> = 381.5m<sup>2</sup>

Total GFA = 545m<sup>2</sup> + store rooms + end facade treatments

- Wall framing types and thickness to be confirmed
- Water heating system to be confirmed
- Floor linings to be confirmed
- Bracing to be confirmed
- Space heating to be confirmed
- All units to be supplied with rangehoods over oven
- All units to be supplied with mechanical ventilation to Bathroom and Laundry spaces

**EDWARDSWHITE**  
REGISTERED ARCHITECTS

PROJECT REF  
HABITAT 495-01  
PALMER STREET,  
TE AWAMUTU

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FLOOR PLANS STAGE 1

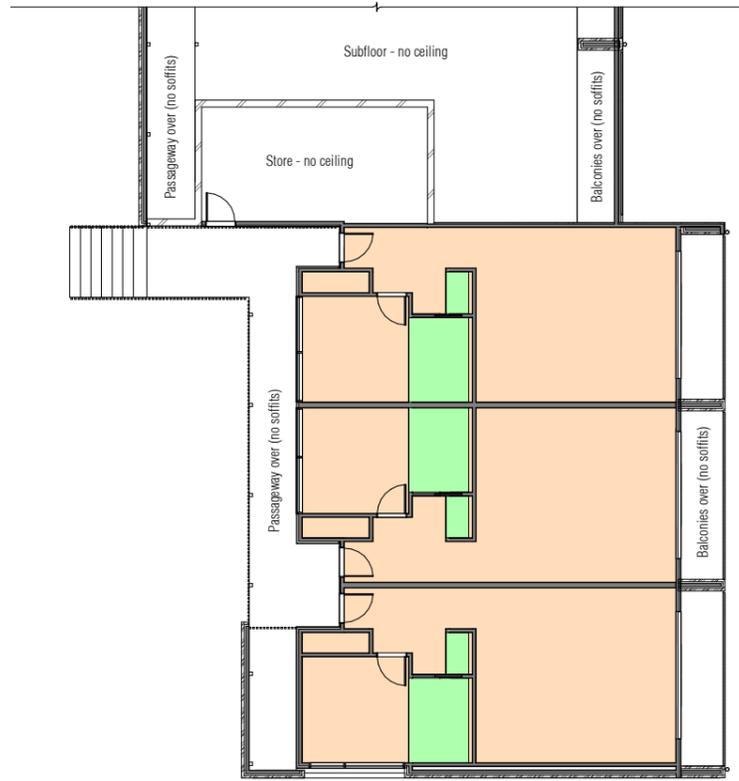
PRELIMINARY DESIGN 17/09/2020

PD201 REV

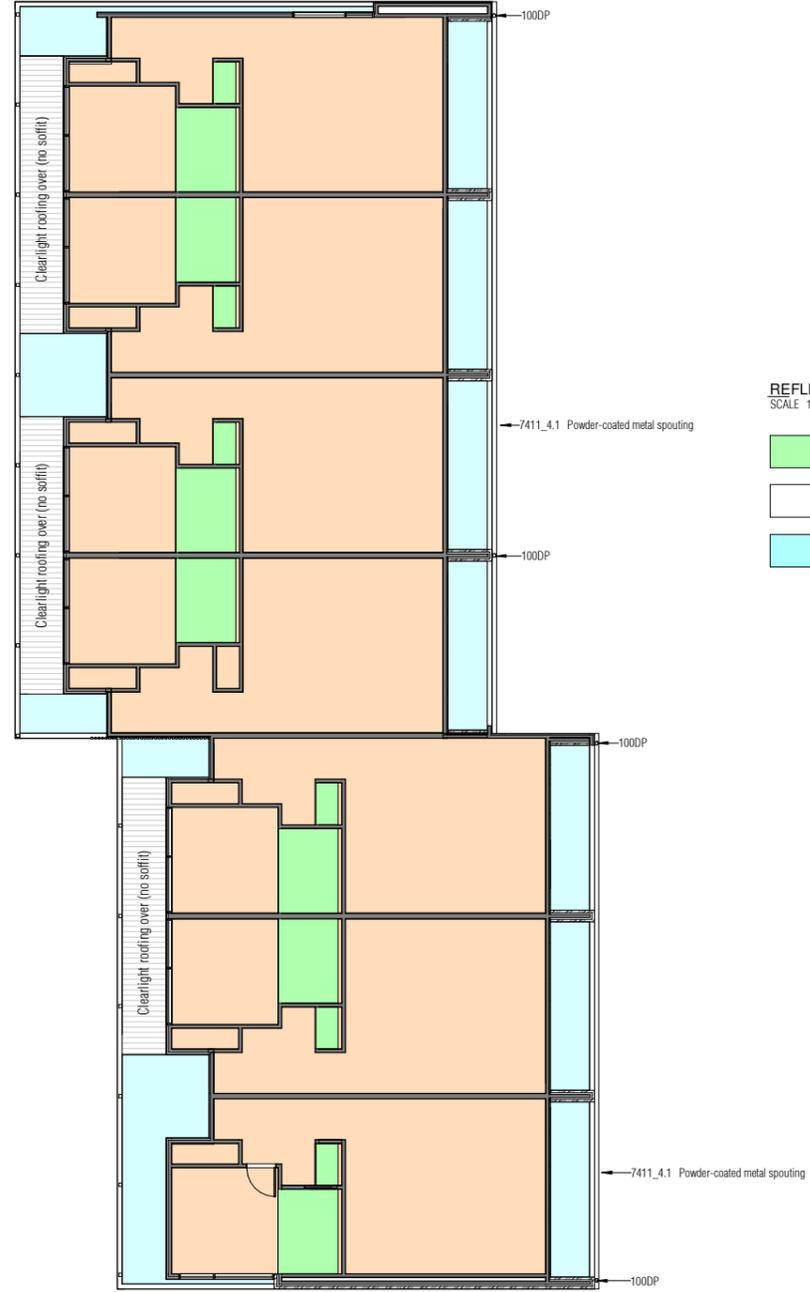
The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095







GROUND FLOOR REFLECTED CEILING PLAN  
SCALE 1:100



FIRST FLOOR REFLECTED CEILING PLAN  
SCALE 1:100

REFLECTED CEILING KEY  
SCALE 1:100

- 2407mm high GIB 13mm Aqualine ceiling lining level 4 paint finish
- 2407mm high GIB 13mm Standard ceiling lining level 4 paint finish
- 2414mm high 6mm James Hardie Villaboard soffit or sim.

**EDWARDSWHITE**  
REGISTERED ARCHITECTS

PROJECT REF  
HABITAT 495-01  
PALMER STREET,  
TE AWAMUTU

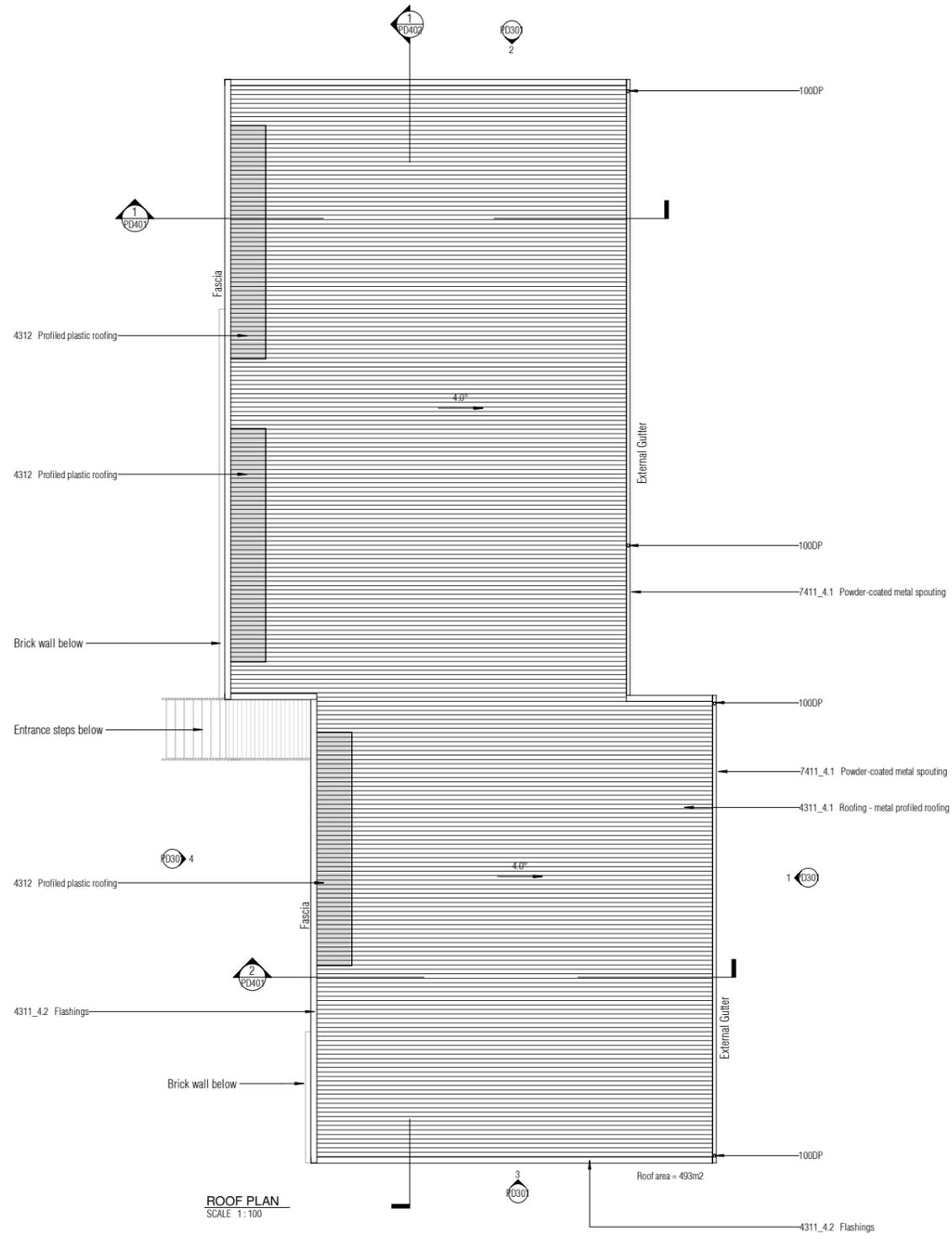
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SHEET  
REFLECTED CEILING PLANS STAGE 1

PRELIMINARY DESIGN 17/09/2020

PD205	REV
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The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095





ROOF PLAN  
SCALE 1:100

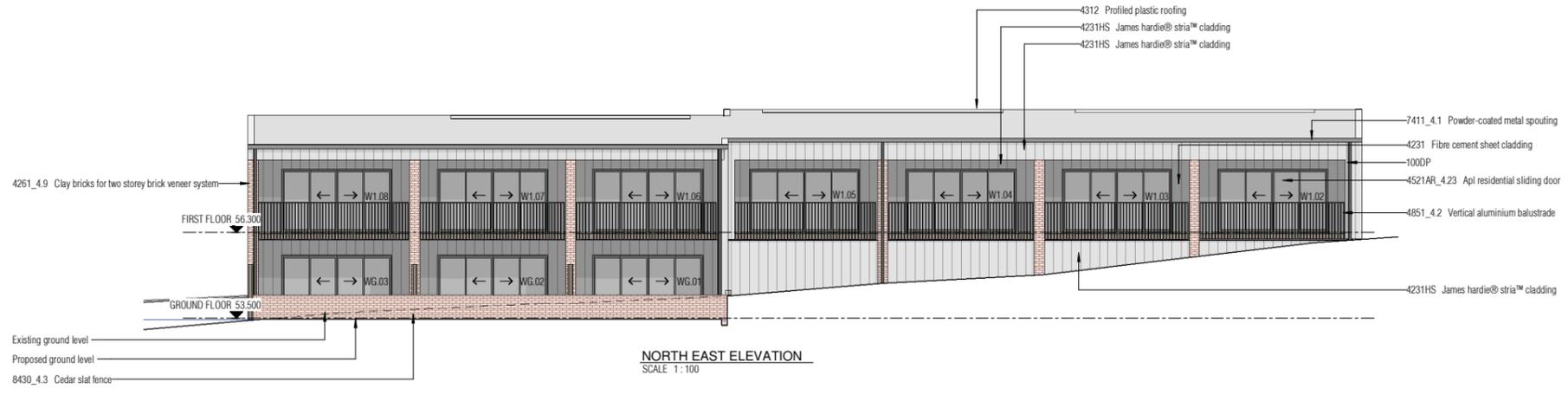
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REGISTERED ARCHITECTS  
PROJECT REF  
HABITAT 495-01  
PALMER STREET,  
TE AWAMUTU

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SHEET  
ROOF PLAN

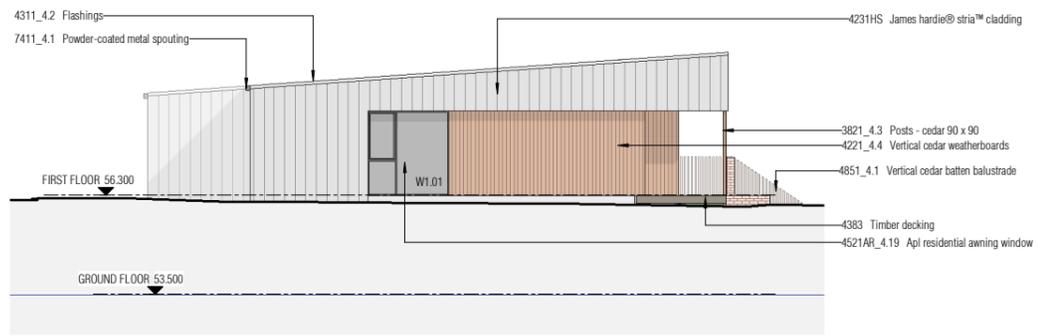
PRELIMINARY DESIGN 17/09/2020

PD206 REV

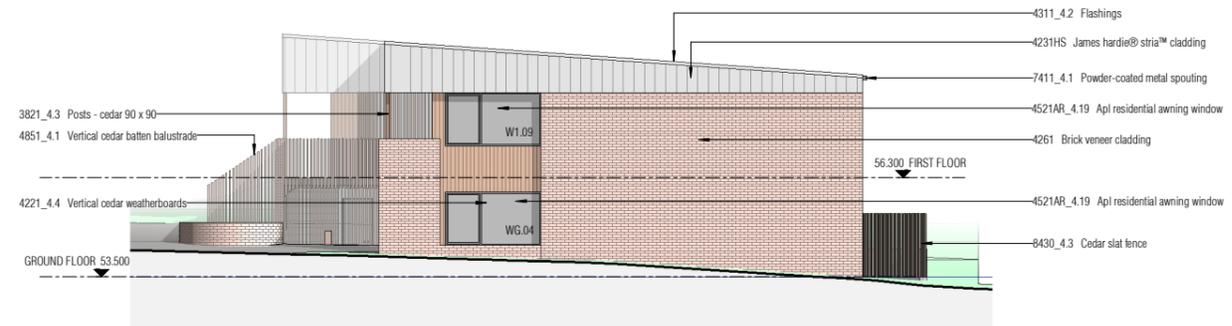




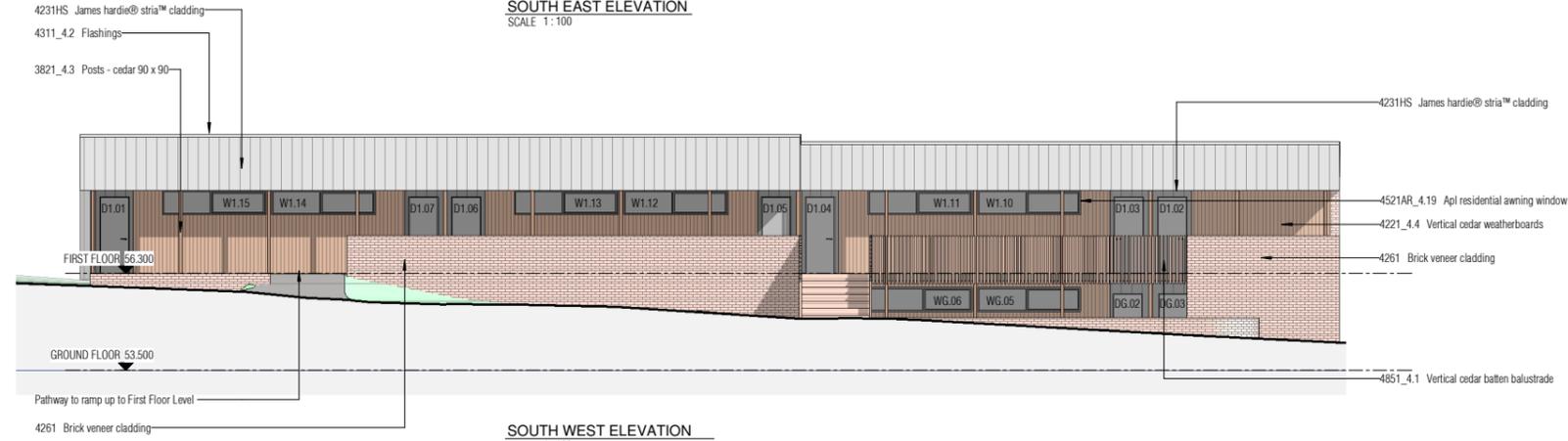
NORTH EAST ELEVATION  
SCALE 1:100



NORTH WEST ELEVATION  
SCALE 1:100



SOUTH EAST ELEVATION  
SCALE 1:100



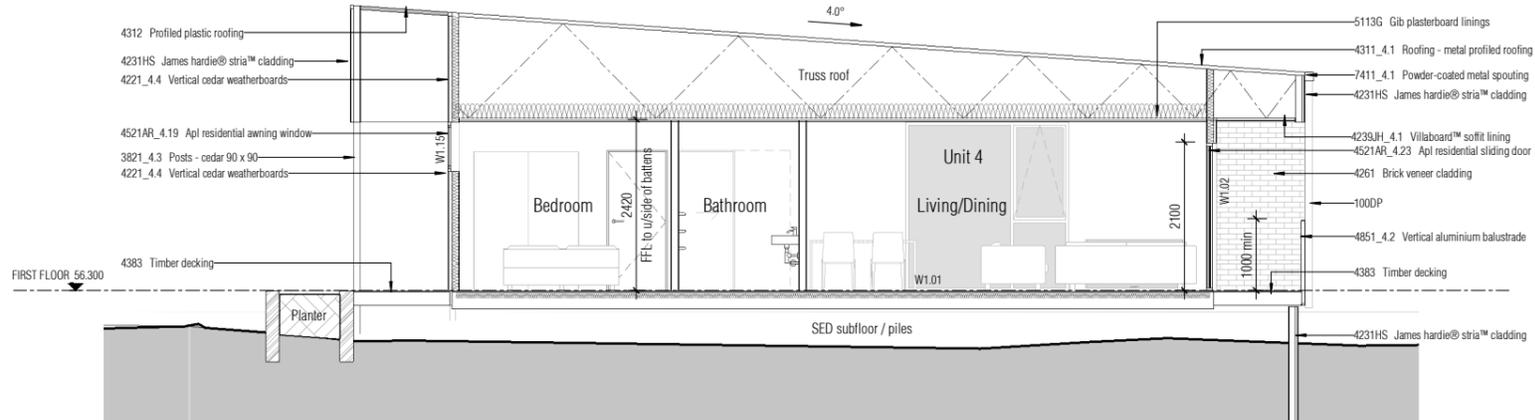
SOUTH WEST ELEVATION  
SCALE 1:100

**EDWARDSWHITE**  
REGISTERED ARCHITECTS  
PROJECT: HABITAT PALMER STREET, TE AWAMUTU REF: 495-01

SHEET: ELEVATIONS original sheet size A1

PRELIMINARY DESIGN 17/09/2020  
**PD301** REV  
The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095





SECTION A  
SCALE 1:50

**Framing**  
Steel or timber framing to be confirmed.  
Dependant on selected main contractor.

**Fire Resistance Ratings**  
To be confirmed by Fire Engineer

**Intertency Requirements**  
To comply with NZBC G6 Airborne and Impact Sound requirements (in addition to Fire Engineers requirements).

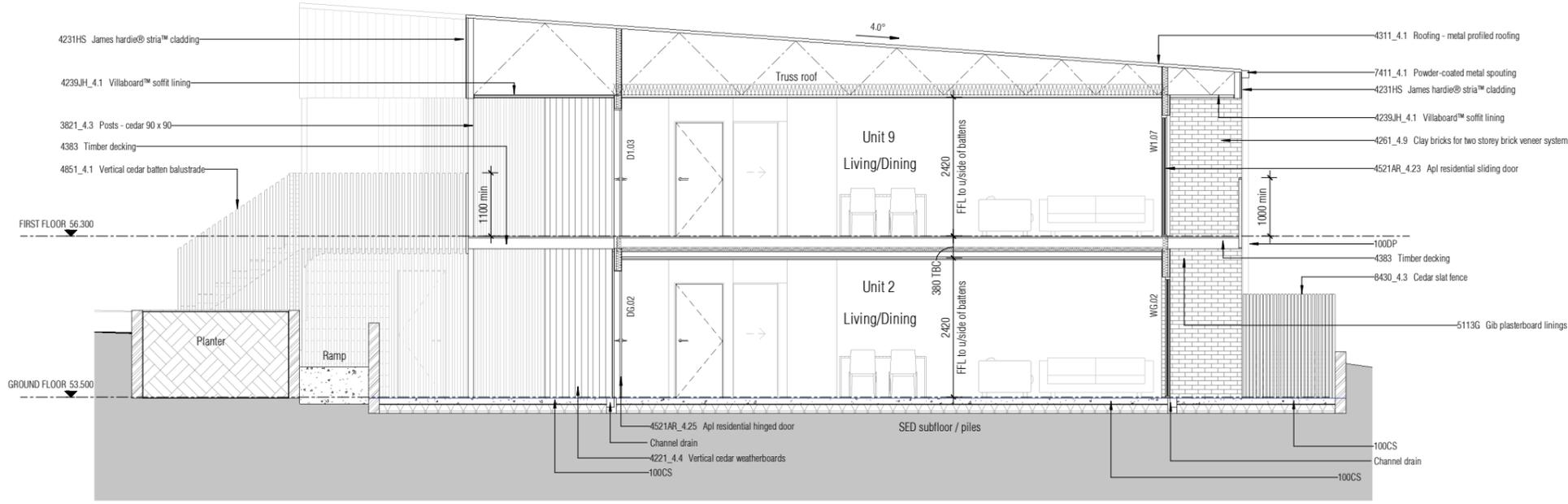
NZBC G6 minimum requirements: Sound Transmission Class of walls, floors and ceilings to be no less than 55. Impact Insulation Class of floors to be no less than 55.

Intertency floors and walls to be formed using selected systems from the latest GIB Noise Control Manual Systems to minimum Fire and Acoustic requirements.

Extent of intertenancy walls TBC

**Site Excavation**  
Volume of excavation to be confirmed once cut out depths and remediation strategy confirmed with Structural, Geotechnical and Environmental Engineers

**Insulation**  
Roof: R3.2 min. batts insulation  
Walls: R2.2 min. batts insulation  
Timber floor: R1.5 min. batts insulation  
Concrete slab insulation: (Optional)- TBC



SECTION B  
SCALE 1:50

**EDWARDSWHITE**  
REGISTERED ARCHITECTS

PROJECT REF  
HABITAT 495-01  
PALMER STREET,  
TE AWAMUTU

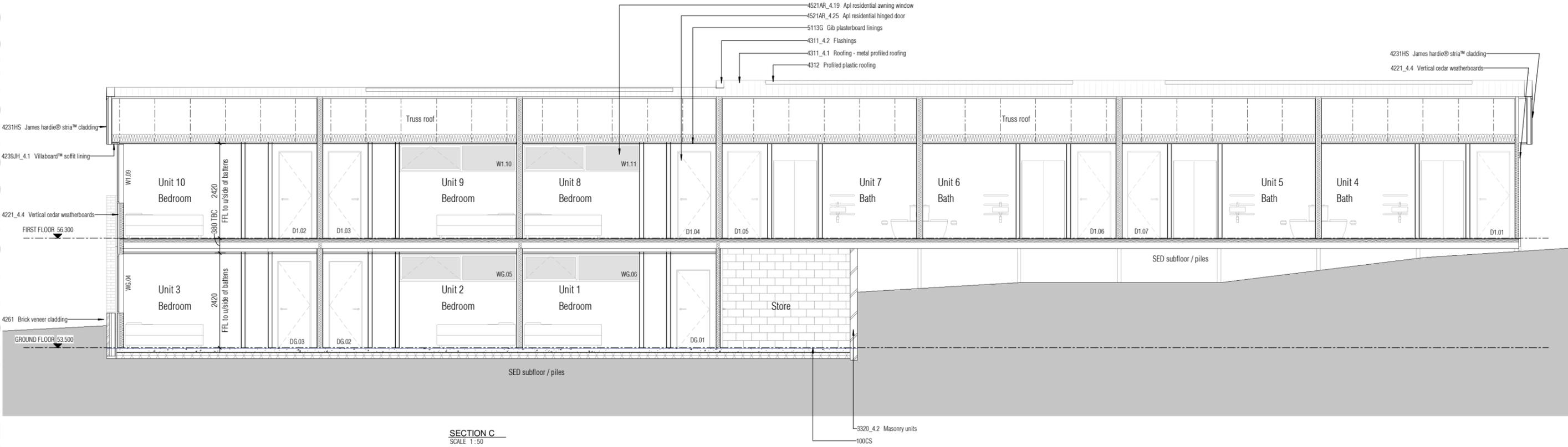
SHEET  
SECTIONS

PRELIMINARY DESIGN 17/09/2020

PD401 REV

The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095





SECTION C  
SCALE 1:50

**EDWARDSWHITE**  
REGISTERED ARCHITECTS

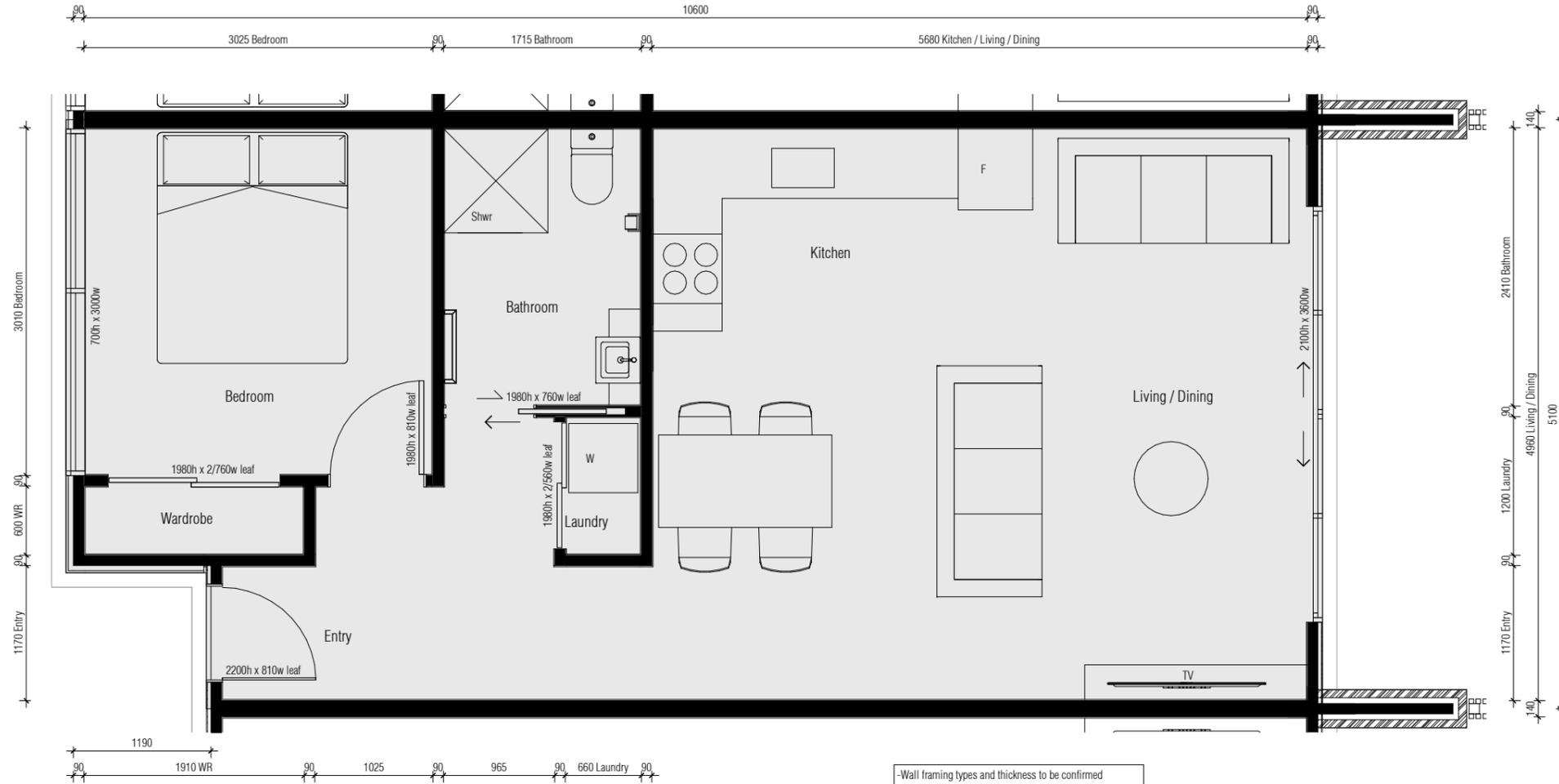
PROJECT REF  
HABITAT 495-01  
PALMER STREET,  
TE AWAMUTU

SHEET SECTIONS  
original sheet size A1

PRELIMINARY DESIGN 17/09/2020

PD402 REV  
The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095





TYPICAL UNIT PLAN - OPTION A  
SCALE 1:25

- Wall framing types and thickness to be confirmed
- Water heating system to be confirmed
- Floor linings to be confirmed
- Bracing to be confirmed
- Space heating to be confirmed
- All units to be supplied with rangehoods over oven
- All units to be supplied with mechanical ventilation to Bathroom and Laundry spaces

**EDWARDSWHITE**  
REGISTERED ARCHITECTS

PROJECT REF  
HABITAT 495-01  
PALMER STREET,  
TE AWAMUTU

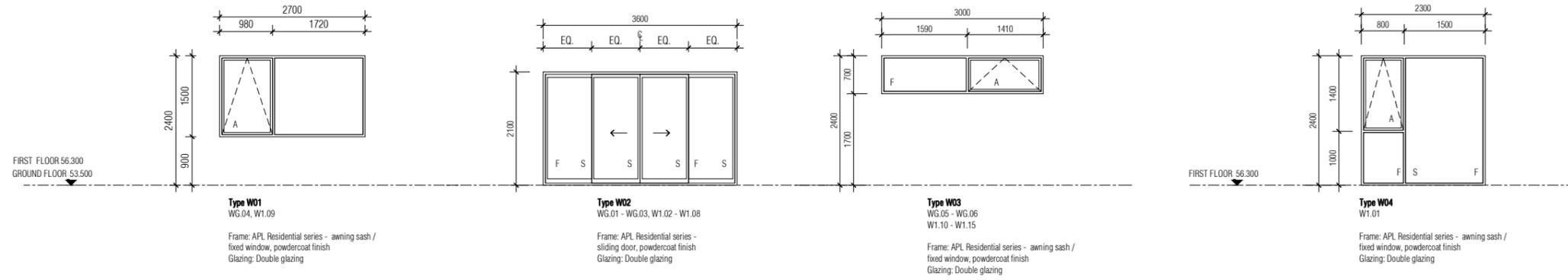
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SHEET  
TYPICAL UNIT PLAN STAGE 1

PRELIMINARY DESIGN 17/09/2020

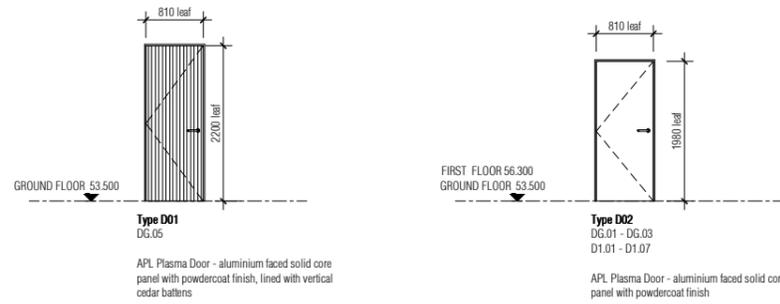
REV  
**PD501**



Exterior windows

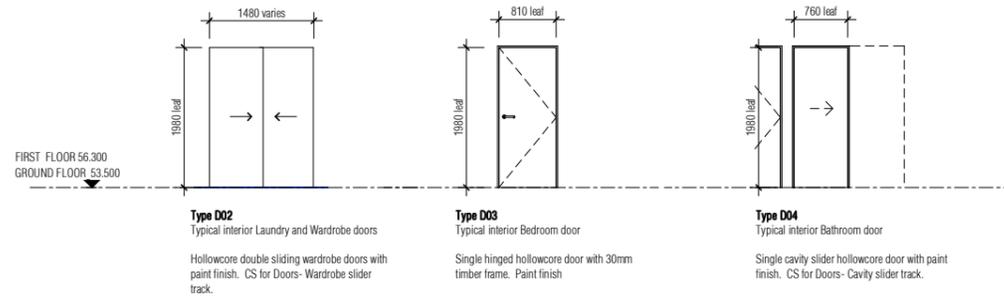


Exterior doors



- S = Denotes grade A safety glazing as per NZS 4223
- A = Denotes awning window
- F = Denotes fixed glazing

Interior doors



GENERAL NOTES

- All dimensions indicate rough opening sizes unless stated otherwise.
- Schedule to be read as if viewing the unit from outside the building and in conjunction with floor plan for door locations, direction of door swings etc.
- Entry door to have proprietary peep hole
- Refer to Architectural Specifications for further information on selections
- Interior timber door frames to be 30mm pre-primed dressed Radiata Pine unless otherwise noted.
- Interior door architraves TBC
- Fire requirements to be confirmed
- Fill and sand all fixing holes prior to painting
- Refer to Door Hardware schedule for hardware selections
- Lever handles mounted at 1000 above floor level.
- All openings are to be site measured prior to fabrication
- Where doors are specified as paint finish and are within painted walls, doors to be colour matched to walls, unless otherwise noted.
- All flashings to Aluminium window/door units and hardware is to match window and door joinery colour.
- All windows to have clear double glazing unless stated otherwise. Confirm with client prior to fabrication.
- Fabrication and installation of glass to comply with NZBC E2 & F2, and NZS4223 (including Part 3- Human Impact Safety). Thickness of glazing to be appropriate weight for size to NZS4223.
- Opening windows with sill heights under 760mm (if applicable) and a potential fall height over 1000mm to comply with NZBC F4/AS1 2.0 opening windows. To be fitted with restrictors that limit the passage of a 100mm sphere.

**EDWARDSWHITE**  
REGISTERED ARCHITECTS

PROJECT REF  
HABITAT 495-01  
PALMER STREET,  
TE AWAMUTU

original sheet size A1

SHEET  
WINDOW & DOOR SCHEDULES

PRELIMINARY DESIGN 17/09/2020

**PD701** REV

The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095

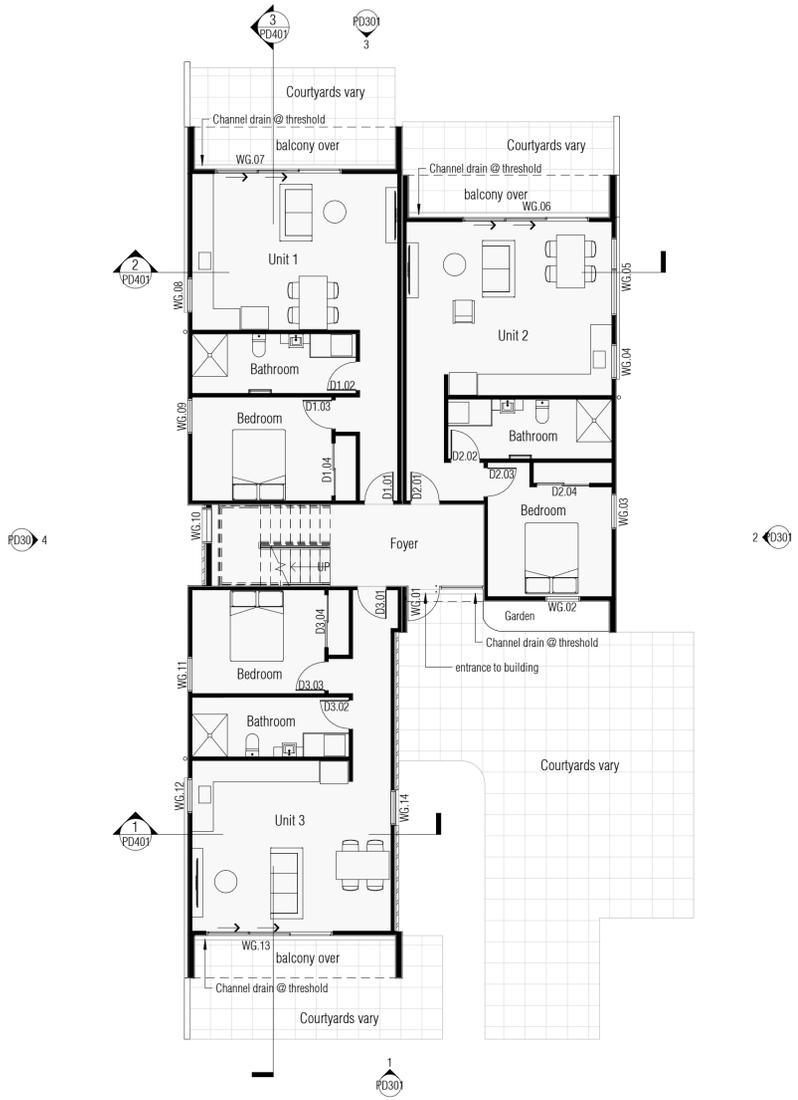




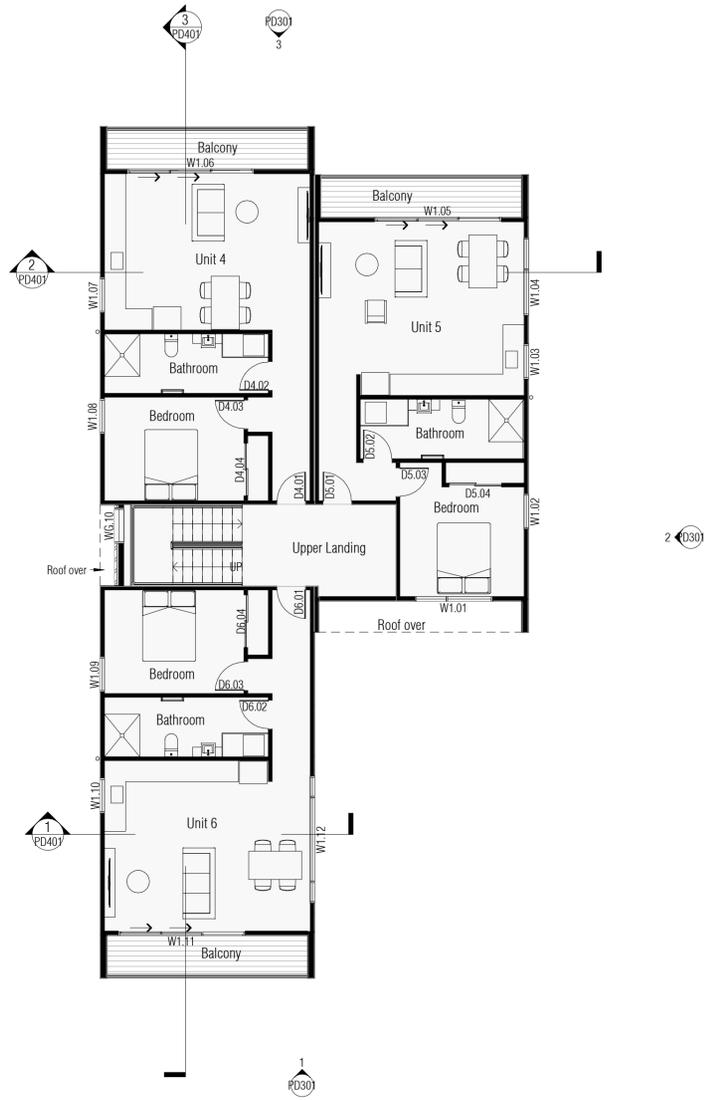
## HABITAT PALMER STREET, TE AWAMUTU

PD000	COVER
PD201	FLOOR PLANS STAGE 2&3
PD204	DIMENSION PLANS STAGE 2&3
PD205	REFLECTED CEILING PLANS STAGE 2&3
PD206	ROOF PLAN STAGE 2&3
PD301	ELEVATIONS STAGE 2&3
PD401	SECTIONS STAGE 2&3
PD701	WINDOW & DOOR SCHEDULES STAGE 2&3

Refer to Site Master Plan for building orientation (varies)



GROUND FLOOR PLAN  
SCALE 1:100



FIRST FLOOR PLAN  
SCALE 1:100

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LOCATION MAP



LEGAL DESCRIPTION

Site Address: Palmer, Vaile, Brady and Roche Streets  
Lots: 1, 2, and 4  
D.P: DP 528456  
C.T:  
Area: 4766m<sup>2</sup> (Lot 1) + 3854m<sup>2</sup> (Lot 2) + 4031m<sup>2</sup> (Lot 4)

SITE INFORMATION

Local Body: Waipa District Council  
Zone: Residential Zone / Compact Housing Area /  
Archaeological Site S15 - 456 (Dump)  
Wind Zone: Low  
Earthquake Zone: Zone 1  
Exposure Zone: Zone B  
Rainfall Intensity: 80-90  
Climate Zone: Zone 2

SURVEY INFORMATION

Site Surveyed By:  
Levels are in terms of \_ Datum

Note: It is the sole responsibility of the builder to ensure all yards setbacks in relation to boundaries are checked for compliance after profiles are setout and prior to construction.

FLOOR AREAS (gross m<sup>2</sup>)

- Unit 1 = 58.8m<sup>2</sup>
- Unit 2 = 60.7m<sup>2</sup>
- Unit 3 = 60.5m<sup>2</sup>
- Unit 4 = 58.3m<sup>2</sup>
- Unit 5 = 60.2m<sup>2</sup>
- Unit 6 = 60.9m<sup>2</sup>
- Foyer + Stairwell = 18.8m<sup>2</sup>
- Upper Landing + Stairwell = 19.5m<sup>2</sup>

Ground level = 198.8m<sup>2</sup> (U1,U2,U3,F+SW)  
First level = 198.9m<sup>2</sup> (U4,U5,U6,L+SW)

Total GFA = 397.7m<sup>2</sup>

Note: calculated area includes claddings + nibs.  
Stairwell area included twice in GFA

- Wall framing types and thickness to be confirmed
- Water heating system to be confirmed
- Floor linings to be confirmed
- Bracing to be confirmed
- Space heating to be confirmed
- All units to be supplied with rangehoods over oven
- All units to be supplied with mechanical ventilation to Bathroom and Laundry spaces

EDWARDSWHITE  
REGISTERED ARCHITECTS

PROJECT REF  
HABITAT 495-01  
PALMER STREET, TE AWAMUTU

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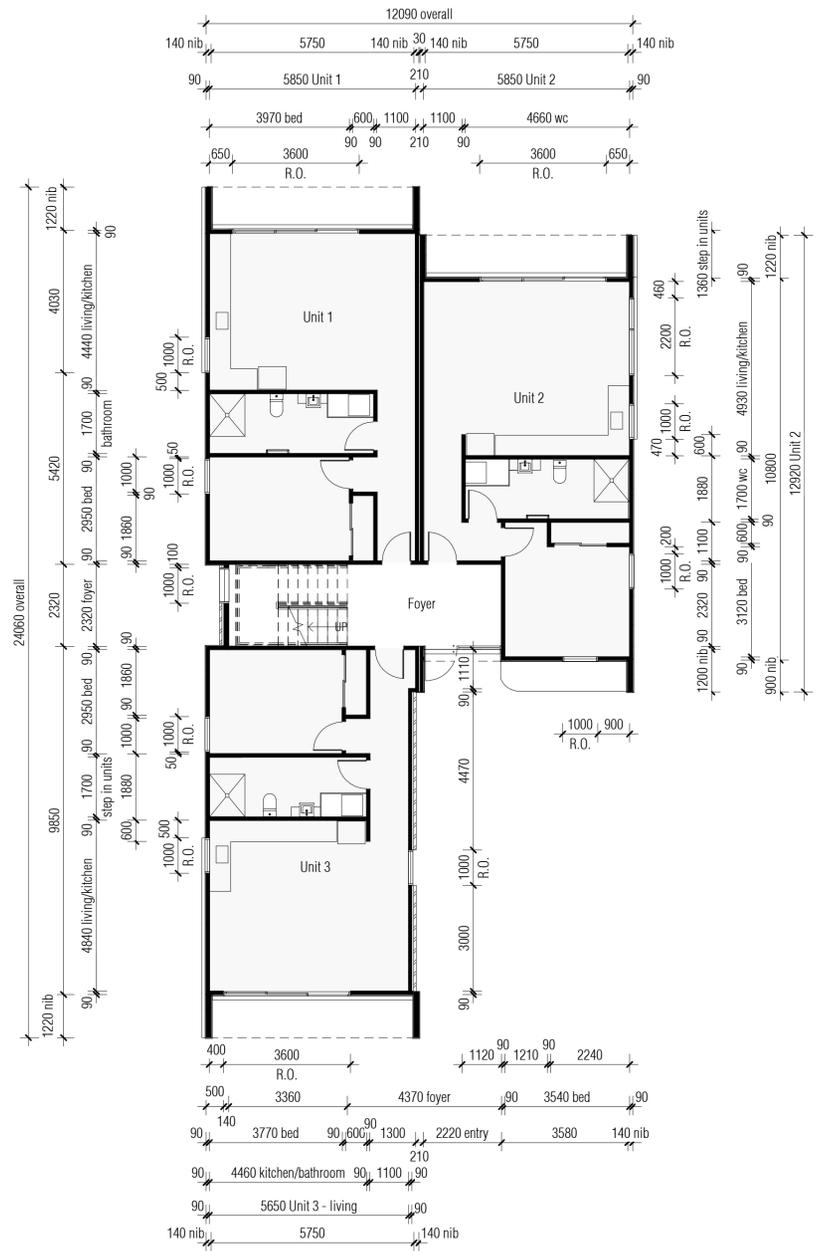
SHEET  
FLOOR PLANS STAGE 2&3

PRELIMINARY DESIGN 10/12/2020

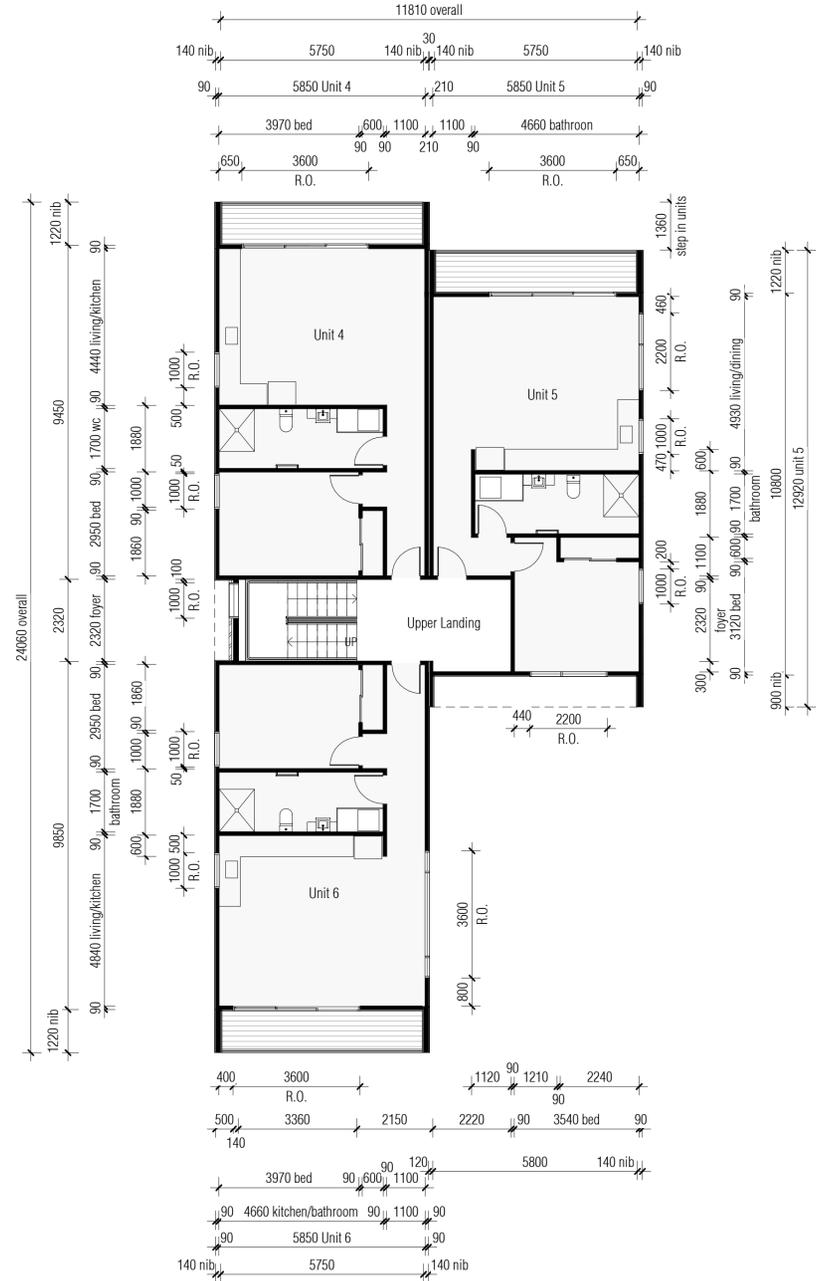
PD201 REV



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- All work to be in accordance with the approved conditions of the Land Use Resource Consent.



Refer to Site Plan for building orientation (varies)



GROUND FLOOR DIMENSION PLAN  
SCALE 1:100

FIRST FLOOR DIMENSION PLAN  
SCALE 1:100

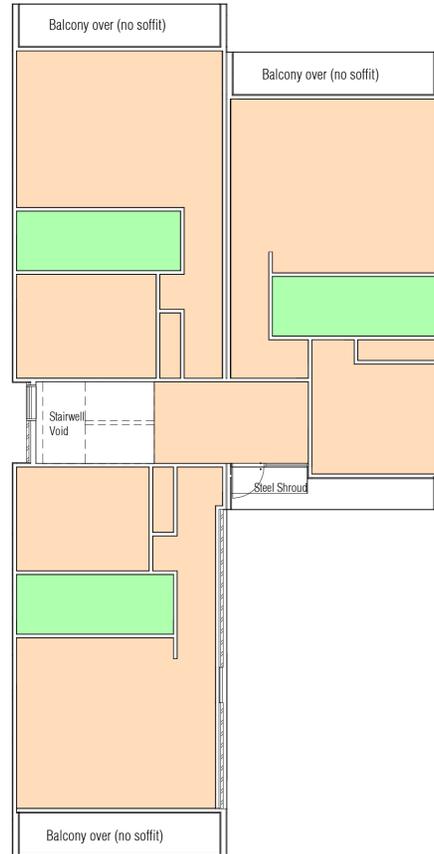
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REGISTERED ARCHITECTS  
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PALMER STREET, TE AWAMUTU

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SHEET DIMENSION PLANS STAGE 2&3

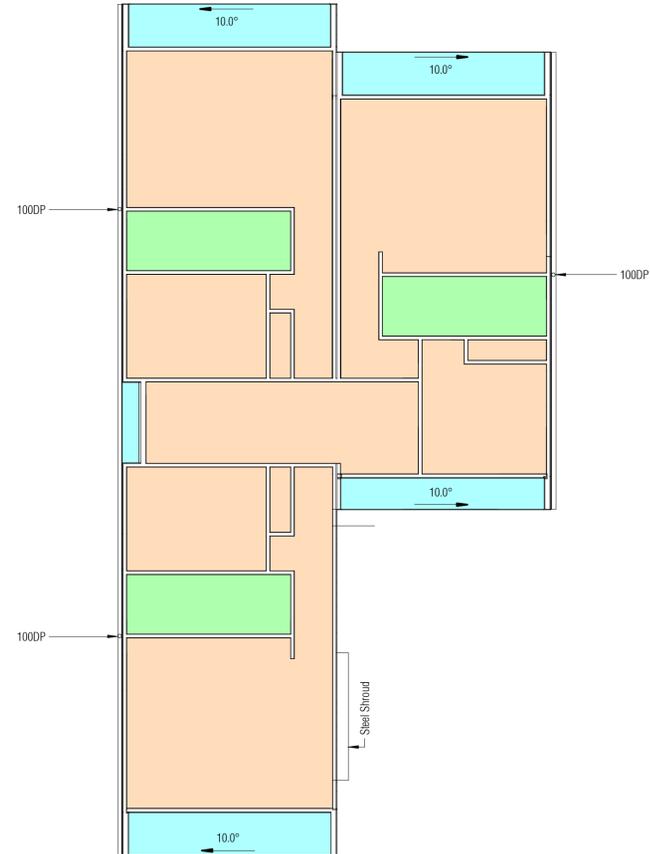
PRELIMINARY DESIGN 10/12/2020  
**PD204** REV  
The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095



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 Keynote Number - architectural specification section clause  
 Keynote Titles - architectural specification clause heading
- All drawings to be read in conjunction with the following consultants documentation:  
 Surveyor - Align Surveyors | Structural, Civil, Geotechnical - BCD Group | Mechanical - All Seasons Air | Electrical - Feisst Electrical | Hydraulics - Fluid | Fire Engineering - On Fire | Fire Protection - Select Alarms | Acoustics - BBA
- All work to be in accordance with the approved conditions of the Land Use Resource Consent



GROUND FLOOR REFLECTED CEILING PLAN  
SCALE 1:100



FIRST FLOOR REFLECTED CEILING PLAN - PD  
SCALE 1:100

REFLECTED CEILING KEY

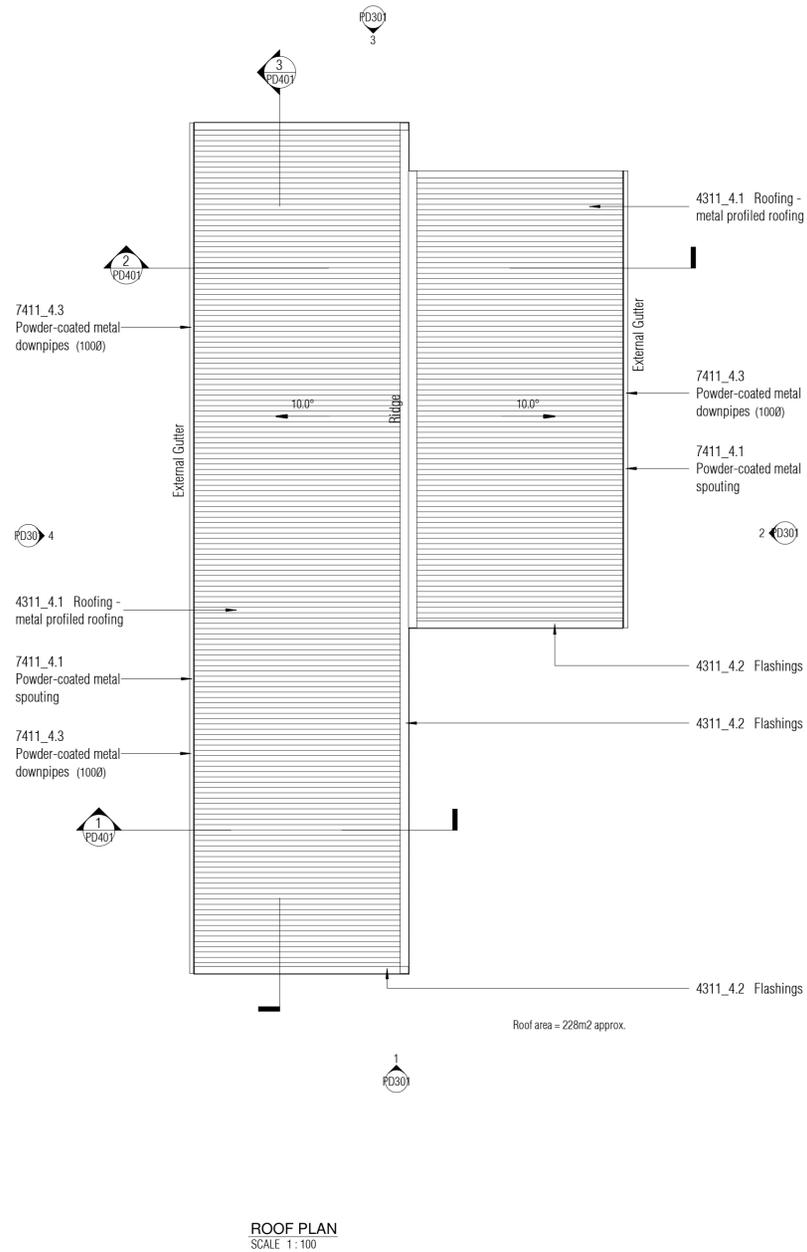
- 2407mm high GIB 13mm Aqualine ceiling lining level 4 paint finish
- 2407mm high GIB 13mm Standard ceiling lining level 4 paint finish
- 10° sloped 6mm James Hardie Villaboard soffit or sim.

**EDWARDSWHITE**  
 REGISTERED ARCHITECTS  
 PROJECT REF  
 HABITAT 495-01  
 PALMER STREET, TE AWAMUTU

original sheet size A1  
 SHEET  
 REFLECTED CEILING PLANS STAGE 2&3

PRELIMINARY DESIGN 10/12/2020  
 PD205 REV  
 The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095





- All construction to be in accordance with relevant NZ Standards, NZBC and local authority requirements.
- All dimensions are in millimetres unless stated otherwise. Use written dimensions, do not scale off drawings.
- The contractor shall check and verify all dimensions, levels and angles on-site prior to commencing any work.
- The contractor must notify the architect of any discrepancies in the documents and / or site conditions for clarification.
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Keynote Number - architectural specification section / clause  
Keynote Titles - architectural specification clause heading
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- All work to be in accordance with the approved conditions of the Land Use Resource Consent.

**EDWARDSWHITE**  
REGISTERED ARCHITECTS

PROJECT REF  
HABITAT 495-01  
PALMER STREET, TE AWAMUTU

original sheet size A1  
SHEET  
ROOF PLAN STAGE 2&3

PRELIMINARY DESIGN 10/12/2020

REV  
**PD206**



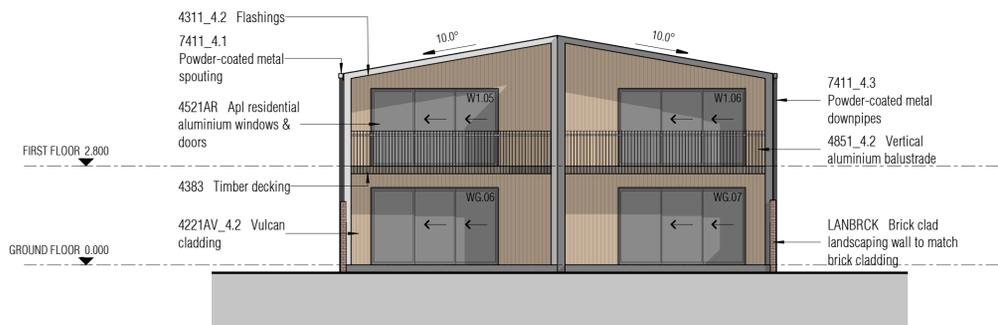


ELEVATION 1  
SCALE 1:100

Refer to Site Plan for contours (varies)



ELEVATION 2  
SCALE 1:100



ELEVATION 3  
SCALE 1:100



ELEVATION 4  
SCALE 1:100

1. All construction to be in accordance with relevant NZ Standards, NZBC and local authority requirements.
2. All dimensions are in millimetres unless stated otherwise. Use written dimensions, do not scale off drawings.
3. The contractor shall check and verify all dimensions, levels and angles on-site prior to commencing any work.
4. The contractor must notify the architect of any discrepancies in the documents and / or site conditions for clarification.
5. Keynotes to be read in conjunction with the Architectural Specification and the Architectural Schedules:  
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 Keynote Titles - architectural specification clause heading
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7. All work to be in accordance with the approved conditions of the Land Use Resource Consent

**EDWARDSWHITE**  
REGISTERED ARCHITECTS  
PROJECT REF: HABITAT 495-01  
PALMER STREET, TE AWAMUTU

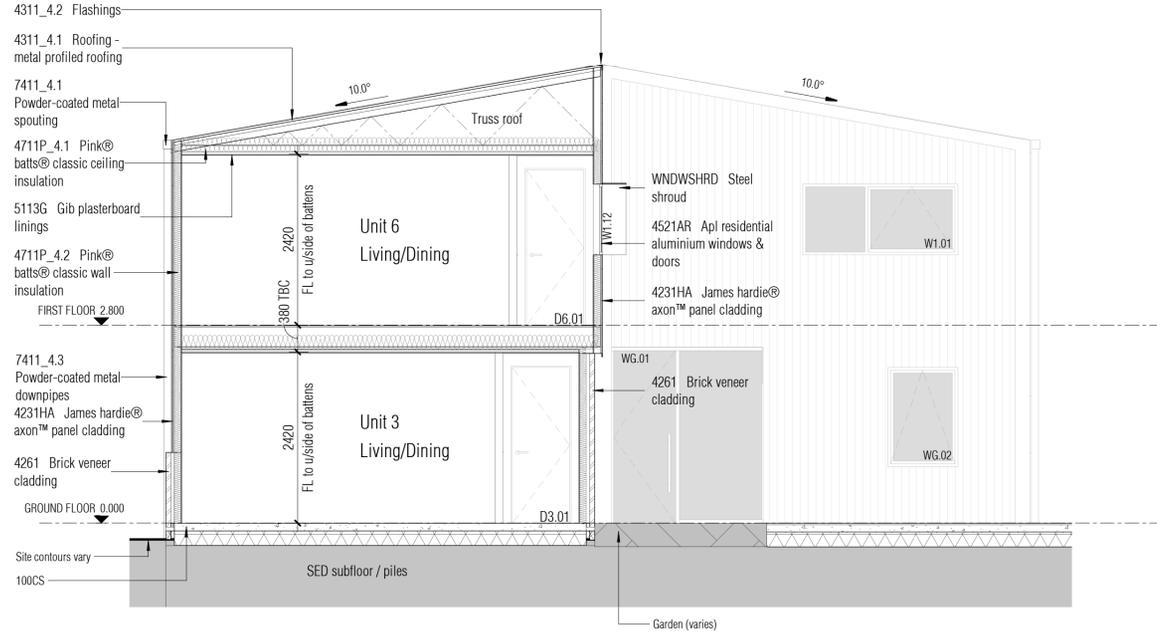
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SHEET ELEVATIONS STAGE 2&3

PRELIMINARY DESIGN 10/12/2020

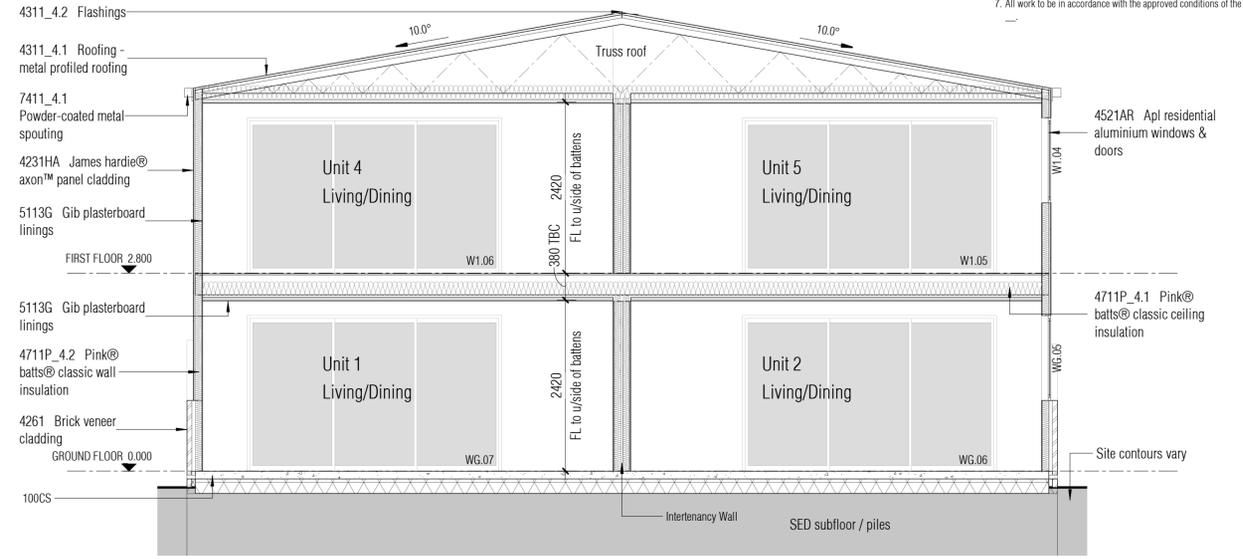
PD301 REV



- All construction to be in accordance with relevant NZ Standards, NZBC and local authority requirements.
- All dimensions are in millimetres unless stated otherwise. Use written dimensions, do not scale off drawings.
- The contractor shall check and verify all dimensions, levels and angles on-site prior to commencing any work.
- The contractor must notify the architect of any discrepancies in the documents and / or site conditions for clarification.
- Keynotes to be read in conjunction with the Architectural Specification and the Architectural Schedules:  
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- All work to be in accordance with the approved conditions of the Land Use Resource Consent



CROSS SECTION 1  
SCALE 1:50



CROSS SECTION 2  
SCALE 1:50



CROSS SECTION 3  
SCALE 1:50

**Framing**  
Steel or timber framing to be confirmed. Dependant on selected main contractor.

**Fire Resistance Ratings**  
To be confirmed by Fire Engineer

**Insulation**  
Roof: R3.2 min. batts insulation  
Walls: R2.2 min. batts insulation  
Timber floor: R1.5 min. batts insulation  
Concrete slab insulation: (Optional)- TBC

PinkBatts indicatively labelled - can be substituted for comparable batt product

**Intertenancy Requirements**  
To comply with NZBC G6 Airborne and Impact Sound requirements (in addition to Fire Engineers requirements).

NZBC G6 minimum requirements: Sound Transmission Class of walls, floors and ceilings to be no less than 55. Impact Insulation Class of floors to be no less than 55.

Intertenancy floors and walls to be formed using selected systems from the latest GIB Noise Control Manual Systems to minimum Fire and Acoustic requirements.

Extent of intertenancy walls TBC

**Site Excavation**  
Volume of excavation to be confirmed once cut out depths and remediation strategy confirmed with Structural, Geotechnical and Environmental Engineers

**EDWARDSWHITE**  
REGISTERED ARCHITECTS

PROJECT: HABITAT PALMER STREET, TE AWAMUTU REF: 495-01

SHEET: SECTIONS STAGE 2&3

PRELIMINARY DESIGN 10/12/2020

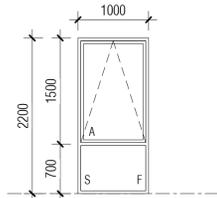
**PD401** REV

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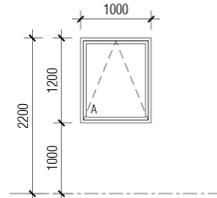


Exterior windows

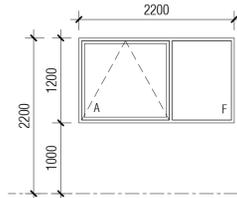
FGL



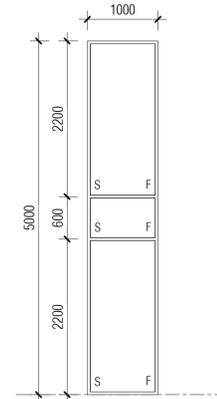
**Type W01**  
WG.03, WG.09, WG.11, W1.02, W1.08, W1.09, WG.14  
  
Frame: APL Residential series - awning sash / fixed window, powdercoat finish  
Glazing: Double glazing



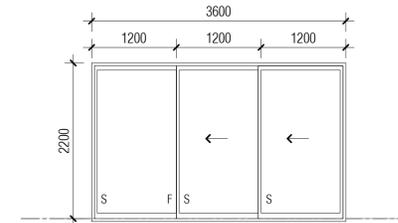
**Type W02**  
WG.04, WG.08, WG.12, W1.13, W1.07, W1.10  
  
Frame: APL Residential series - awning sash, powdercoat finish  
Glazing: Double glazing



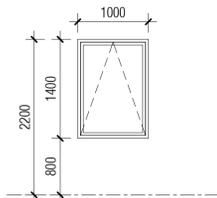
**Type W03**  
WG.05, W1.04  
  
Frame: APL Residential series - awning sash / fixed window, powdercoat finish  
Glazing: Double glazing



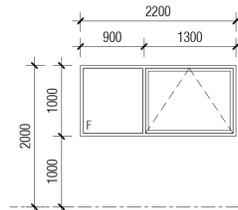
**Type W04**  
WG.10  
  
Frame: APL Residential series - awning sash / fixed window, powdercoat finish  
Glazing: Double glazing



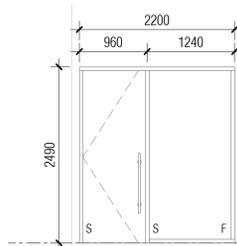
**Type W05**  
WG.06, WG.07, WG.13, W1.05, W1.06, W1.11  
  
Frame: APL Residential series - awning sash / fixed window, powdercoat finish  
Glazing: Double glazing



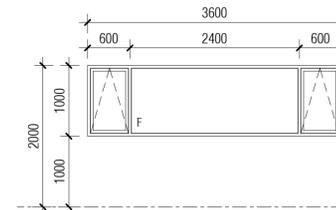
**Type W06**  
WG.02  
  
Frame: APL Residential series - awning sash / fixed window, powdercoat finish  
Glazing: Double glazing



**Type W07**  
W1.01  
  
Frame: APL Residential series - awning sash, powdercoat finish  
Glazing: Double glazing



**Type W08**  
W1.01  
  
Frame: APL Residential series - awning sash / fixed window, powdercoat finish  
Glazing: Double glazing



**Type W09**  
W1.12  
  
Frame: APL Residential series - awning sash / fixed window, powdercoat finish  
Glazing: Double glazing

- S = Denotes grade A safety glazing as per NZS 4223
- A = Denotes awning window
- F = Denotes fixed glazing

- GENERAL NOTES**
- All dimensions indicate rough opening sizes unless stated otherwise.
  - Schedule to be read as if viewing the unit from outside the building and in conjunction with floor plan for door locations, direction of door swings etc.
  - Entry door to have proprietary peep hole
  - Refer to Architectural Specifications for further information on selections
  - Interior timber door frames to be 30mm pre-primed dressed Radiata Pine unless otherwise noted.
  - Interior door architraves TBC
  - Fire requirements to be confirmed
  - Fill and sand all fixing holes prior to painting
  - Refer to Door Hardware schedule for hardware selections
  - Lever handles mounted at 1000 above floor level.
  - All openings are to be site measured prior to fabrication
  - Where doors are specified as paint finish and are within painted walls, doors to be colour matched to walls, unless otherwise noted.
  - All flashings to Aluminium window/door units and hardware is to match window and door joinery colour.
  - All windows to have clear double glazing unless stated otherwise. Confirm with client prior to fabrication.
  - Fabrication and installation of glass to comply with NZBC E2 & F2, and NZS4223 (including Part 3- Human Impact Safety). Thickness of glazing to be appropriate weight for size to NZS4223.
  - Opening windows with sill heights under 760mm (if applicable) and a potential fall height over 1000mm to comply with NZBC F4/AS1 2.0 opening windows. To be fitted with restrictors that limit the passage of a 100mm sphere.

Interior doors

Door Schedule				
Mark	Size	Construction Type	Finish	Location
D1.01	810 x 2200 (sc)	Solid core flush hinged door	Paint	Unit Entrance
D2.01	810 x 2200 (sc)	Solid core flush hinged door	Paint	Unit Entrance
D3.01	810 x 2200 (sc)	Solid core flush hinged door	Paint	Unit Entrance
D4.01	810 x 2200 (sc)	Solid core flush hinged door	Paint	Unit Entrance
D5.01	810 x 2200 (sc)	Solid core flush hinged door	Paint	Unit Entrance
D6.01	810 x 2200 (sc)	Solid core flush hinged door	Paint	Unit Entrance

Door Schedule				
Mark	Size	Construction Type	Finish	Location
D1.02	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bathroom
D1.03	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bedroom
D2.02	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bathroom
D2.03	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bedroom
D3.02	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bathroom
D3.03	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bedroom
D4.02	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bathroom
D4.03	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bedroom
D5.02	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bathroom
D5.03	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bedroom
D6.02	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bathroom
D6.03	810 x 2200 (hc)	Hollow core flush hinged door	Paint	Bedroom

Door Schedule				
Mark	Size	Construction Type	Finish	Location
D1.04	2 / 760 x 2200	Hollow core double sliding wardrobe doors	Paint	Wardrobe
D2.04	2 / 760 x 2200	Hollow core double sliding wardrobe doors	Paint	Wardrobe
D3.04	2 / 760 x 2200	Hollow core double sliding wardrobe doors	Paint	Wardrobe
D4.04	2 / 760 x 2200	Hollow core double sliding wardrobe doors	Paint	Wardrobe
D5.04	2 / 760 x 2200	Hollow core double sliding wardrobe doors	Paint	Wardrobe
D6.04	2 / 760 x 2200	Hollow core double sliding wardrobe doors	Paint	Wardrobe

**EDWARDSWHITE**  
REGISTERED ARCHITECTS  
PROJECT REF  
HABITAT 495-01  
PALMER STREET, TE AWAMUTU

original sheet size A1

SHEET  
WINDOW & DOOR SCHEDULES STAGE  
2&3

PRELIMINARY DESIGN 10/12/2020

**PD701** REV

The Riverbank Lane 298 Victoria Street Hamilton NZ (07) 839 0095

